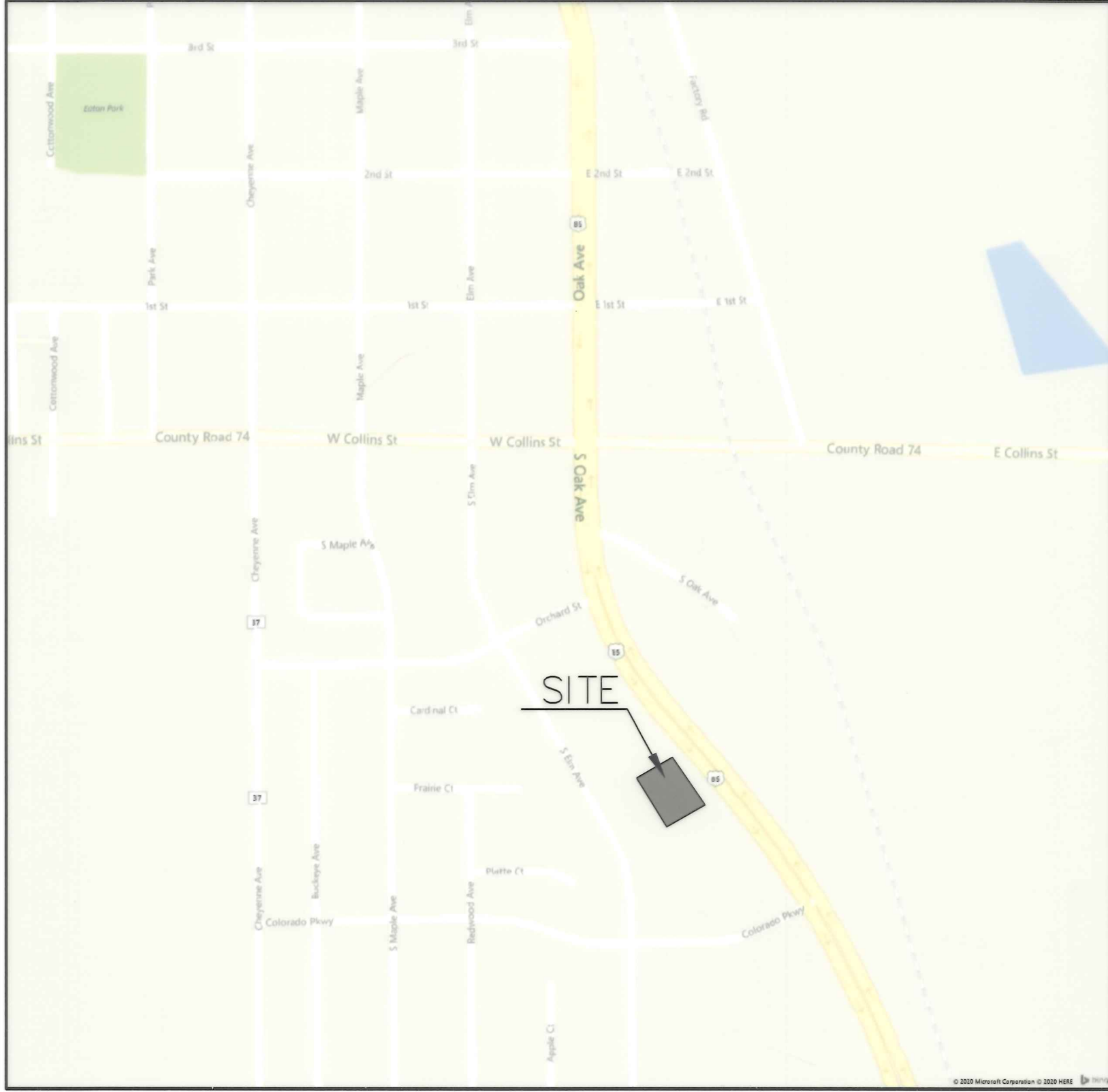


**COSTA OIL CHANGE KIOSK**  
**LOT 4, BLOCK 3**  
**MAPLEWOOD ESTATES PUD FIRST REPLAT**  
**SITE DEVELOPMENT PLAN**

LOCATED IN THE NORTHWEST QUARTER OF SECTION 6, TOWNSHIP 6 NORTH, RANGE 65 WEST  
OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF EATON, COUNTY OF WELD, STATE OF COLORADO



VICINITY MAP  
N.T.S.

## PROJECT CONTACTS

OWNER/AGENT:		ARCHITECT:	
	COSTA OIL BRANDON KAMMERZELL 37768 CR 55 EATON, CO 80615 970.302.9737		BRIAN WINKELMANN WA-CM,LLC BRIANW@DTSWNK.COM
LANDSCAPE ARCHITECT:		CIVIL ENGINEER:	
	PLANSCAPES ROBERT MOLLOY 980 NORWAY MAPLE DRIVE LOVELAND, CO 80538 970.988.5301		I2 CONSULTANTS, INC. TROY W. CAMPBELL, P.E. 16911 POTTS PLACE MEAD, CO 80542 970.217.9148
		SURVEYOR:	
			LAT 40', INC. BRIAN ROTTINGHAUS, PLS 6250 W. 10TH STREET, UNIT 2 GREELEY, CO 80634 970.515.5294

### LEGEND OF SYMBOLS

**EXISTING**

WATER LINES  
SANITARY SEWER  
ELECTRIC  
GAS  
OVERHEAD  
TELEPHONE  
STORM DRAIN

VALVE  
FIRE HYD.  
METER  
GAS VALVE  
GUY ANCHOR  
POLE  
PEDESTAL  
MANHOLE  
MANHOLE

**PROPOSED**

W  
S

CONTOURS (1')  
4815

FLOW DIRECTION

EXISTING ASPHALT

EXISTING CONCRETE

PROPOSED CONCRETE

PROPOSED ASPHALT

SPILL CURB & GUTTER

DESIGN POINT

MAJOR SITE DRAINAGE BASIN

BASIN BOUNDARY

CONCRETE WASHOUT AREA

SILT FENCE

VEHICLE TRACKING CONTROL

INLET PROTECTION

1

BASIN

A

0.06 0.63 0.78

AREA (Ac.)

C5 AND C100

CWA

SF

VTC

IP

GENERAL NOTES:

1. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY, OR EASEMENT SHALL CONFORM TO THE TOWN OF EATON CONSTRUCTION SPECIFICATIONS AND DESIGN STANDARDS.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS PRIOR TO COMMENCEMENT OF ANY WORK ON THE PROJECT. A PERMIT FROM PUBLIC WORKS DEPARTMENT IS REQUIRED FOR ALL CONSTRUCTION IN PUBLIC RIGHT-OF-WAY OR EASEMENTS. A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH TOWN REPRESENTATIVES BEFORE A PERMIT WILL BE ISSUED. CALL UTILITY NOTIFICATION CENTER OF COLORADO AT 1-800-922-1987 FOR UTILITY LOCATES AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
3. THE CONTRACTOR SHALL NOTIFY THE TOWN OF EATON AT LEAST 24 HOUR PRIOR TO ANY REQUIRED INSPECTION.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER/ DEVELOPER, AND THE TOWN, OF ANY PROBLEMS IN CONFORMING TO THE ACCEPTED PLANS FOR ANY ELEMENT OF THE PROPOSED IMPROVEMENTS PRIOR TO ITS CONSTRUCTION.
5. IT IS THE RESPONSIBILITY OF THE DEVELOPER DURING CONSTRUCTION ACTIVITIES TO RESOLVE CONSTRUCTION PROBLEMS DUE TO CHANGED CONDITIONS, OR DESIGN ERRORS ENCOUNTERED BY THE CONTRACTOR DURING THE PROGRESS OF ANY PORTION OF THE PROJECT. IF, IN THE OPINION OF THE TOWN, THE MODIFICATIONS PROPOSED BY THE DEVELOPER, TO THE ACCEPTED PLANS, INVOLVE SIGNIFICANT CHANGES TO THE CHARACTER OF THE WORK, OR TO THE FUTURE CONTIGUOUS PUBLIC OR PRIVATE IMPROVEMENTS, THE DEVELOPER SHALL BE RESPONSIBLE FOR RE-SUBMITTING THE REVISED PLANS TO THE TOWN OF EATON FOR ACCEPTANCE PRIOR TO ANY FURTHER CONSTRUCTION RELATED TO THAT PORTION OF THE PROJECT. ANY IMPROVEMENTS NOT CONSTRUCTED IN ACCORDANCE WITH THE ACCEPTED PLANS, OR THE ACCEPTED REVISED PLANS, SHALL BE REMOVED AND RECONSTRUCTED ACCORDING TO THE APPROVED PLAN.
6. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS AT AND ADJACENT TO THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, DURING THE PERFORMANCE OF THE WORK. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE TOWN IS TO OBSERVE THE CONSTRUCTION AND VIEW OF THE CONTRACTOR'S PERFORMANCE. IT IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON, OR NEAR THE CONSTRUCTION SITE.
7. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAG PERSONS, OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY IN ACCORDANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AND ANY NECESSARY SUPPLEMENTS TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
8. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL SURVEY MONUMENTS. ANY MONUMENT THAT MUST BE DESTROYED FOR CONSTRUCTION SHALL BE REPLACED. THE CONTRACTOR SHALL ENGAGE THE SERVICES OF A PROFESSIONAL LICENSED SURVEYOR (PLS) PRIOR TO DISTURBING ANY MONUMENTS.
9. PRIOR TO FINAL PLACEMENT OF SURFACE PAVEMENT, ALL UNDERGROUND UTILITY MAINS SHALL BE INSTALLED AND SERVICE CONNECTIONS STUBBED OUT BEYOND CURB LINE, WHEN ALLOWED BY THE UTILITY. SERVICE FROM PUBLIC UTILITIES AND FROM SANITARY SEWERS SHALL BE MADE AVAILABLE FOR EACH LOT IN SUCH A MANNER THAT WILL NOT BE NECESSARY TO DISTURB THE STREET PAVEMENT, CURB, GUTTER, AND SIDEWALK WHEN CONNECTIONS ARE MADE.

## SHEET INDEX

1	SP-1	COVER SHEET
2	SP-2	SITE PLAN/HORIZONTAL CONTROL PLAN
3	SP-3	DRAINAGE & EROSION CONTROL PLAN
4	LS1.0	LANDSCAPE PLAN
5	A-1	EXTERIOR ELEVATIONS

DESCRIPTION

LOT 4, BLOCK 3 MAPLEWOOD ESTATES PUD FIRST REPLAT, LOCATED IN THE NORTHWEST QUARTER OF SECTION 6, TOWNSHIP 6 NORTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF EATON, COUNTY OF WELD, STATE OF COLORADO

### OWNER'S OR ASSIGNEE CERTIFICATE

BY SIGNING THIS SITE PLAN Brandon Kammerzell AS OWNER OR ASSIGNEE OF THE LAND FOR WHICH THIS SITE PLAN HAS BEEN CREATED, ACCEPTS ALL OF THE REQUIREMENTS AND CONDITIONS SET FORTH HEREIN.

OWNER: KZ Holdings, LLC  
NAME OF CORPORATION

BY: Brandon Kammerzell  
NAME OF SIGNATORY

TITLE: Managing Member

SIGNATURE: Brenda Kung'u DATE: 11/16/2022

ATTEST: \_\_\_\_\_  
SECRETARY OR TREASURER

SIGNATURE: \_\_\_\_\_

EATON PLANNING DEPARTMENT

THIS SITE PLAN WAS REVIEWED AND APPROVED BY THE TOWN ADMINISTRATOR  
THIS 21 DAY OF November, 2022.

Wesley LaVanchy  
TOWN OF EATON, ADMINISTRATOR  
[Signature]  
SIGNATURE

SURVEY NOTES:

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, NORTH ZONE  
NORTH AMERICAN DATUM 1983  
NGS CONTROL POINT E390  
N: 1434879.66  
E: 3219913.49

COORDINATE REFERENCE:  
SOUTHWEST CORNER LOT 3, BLOCK 3:  
N: 1433507.55  
E: 3219363.17

BENCHMARK:  
ALL ELEVATIONS ARE BASED ON NGS CONTROL POINT E390, LOCATED AT THE SE CORNER OF THE  
RAILROAD TRACKS AND WCR #74, ELEVATION = 4823.20 (DATUM - NAVD88).

SITE BENCHMARK: CP99 - 12" SPIKE; ELEVATION 4814.87  
N: 1433659.05, E: 3219573.37

ZONING:

EXISTING ZONING FOR THE PROPERTY: PUD

## TOWN OF EATON ENGINEERING

REVIEW IS FOR GENERAL COMPLIANCE WITH TOWN STANDARDS AND REGULATIONS. CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE TOWN STANDARDS. THE TOWN'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE TOWN IS HELD HARMLESS.

THIS 28<sup>th</sup> DAY OF NOVEMBER 2022.

BRADLEY A. CURTIS, PE  
TOWN OF EATON ENGINEER  
SIGNATURE

**i2  
Consultants,  
Inc.**  
16911 Potts Place  
Mead, Colorado  
970.217.9148



COSTA OIL CHANGE KIOSK - 1064 - SINGLE BAY  
SITE DEVELOPMENT PLAN

COVER SHEET

LOT 4, BLOCK 3 MAPLEWOOD ESTATES PUD FIRST REPLAT

SECTION 6, TOWNSHIP 6 NORTH, RANGE 65 WEST  
TOWN OF EATON, COUNTY OF WELD, STATE OF COLORADO

[illegible]

Design TWC	Drawn
Checked TWC	Checked TWC
Date NOVEMBER 15, 2022	
Job No. 1077-1	
D- L4B3_CV	

SHEET  
SP-1

1 OF 5 SHEETS





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Inc.**  
16911 Potts Place  
Mead, Colorado  
970.217.9148



COSTA OIL CHANGE KIOSK - 1084 - SINGLE BAY  
SITE DEVELOPMENT PLAN  
SITE PLAN/HORIZONTAL CONTROL PLAN  
LOT 4, BLOCK 3 MAPLEWOOD ESTATES PUD FIRST REPLAT  
SECTION 6, TOWNSHIP 6 NORTH, RANGE 65 WEST  
TOWN OF EATON, COUNTY OF WELD, STATE OF COLORADO

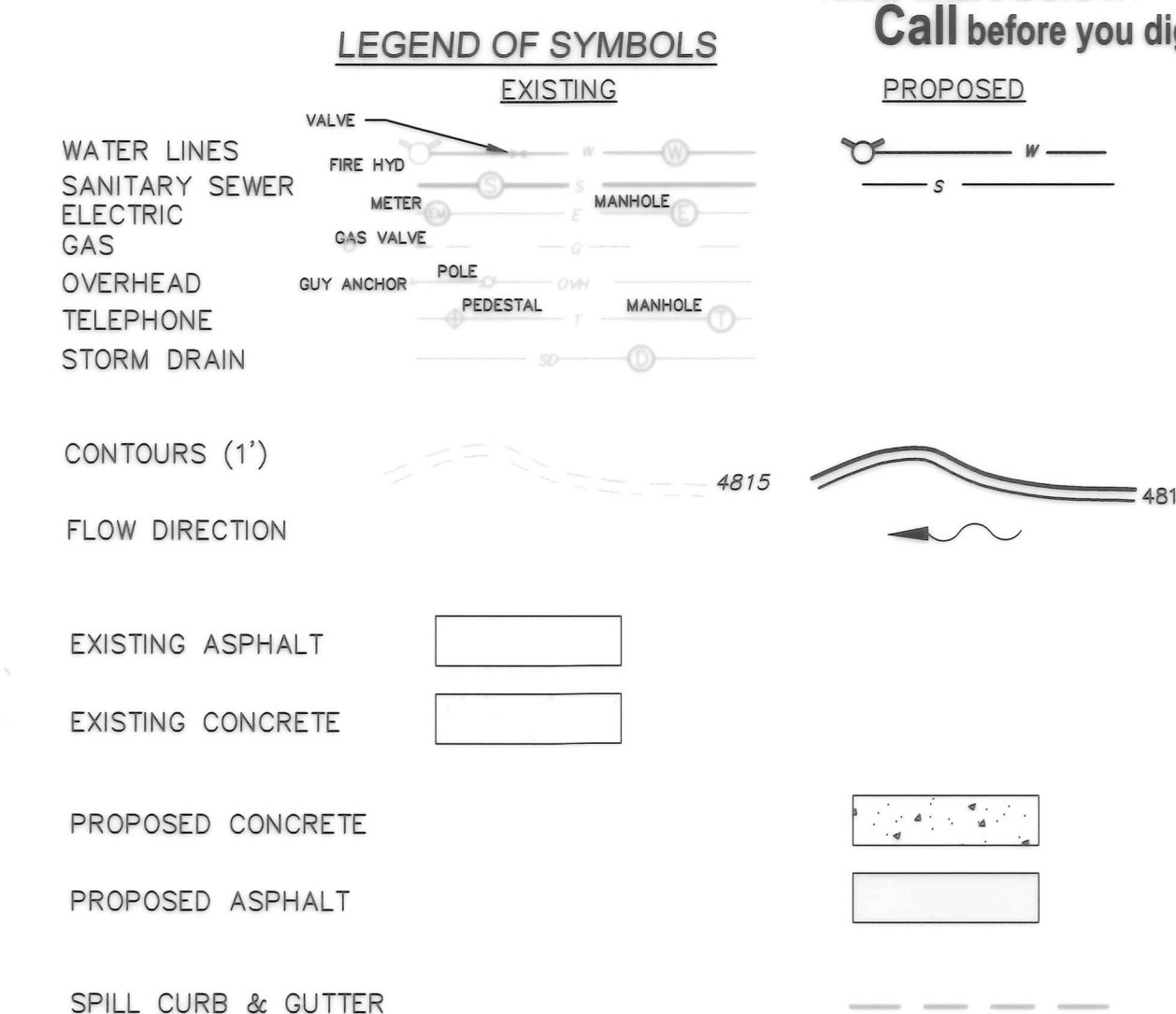
©:3 CONSULTANTS INC

	DATE	BY	REVISION / ISSUE	APPV	DATE

Design	Drawn
Checked TWC	Checked TWC
Date NOVEMBER 15, 2023	
Job No. 1077-1	
D- LAB3_HC	

SHEET  
**SP-2**

2 OF 5 SHEETS



Scale 1 inch = 10 feet

SURVEY NOTES:

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE  
COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983  
NGS CONTROL POINT E390  
N: 1434879.66  
E: 3219913.49

COORDINATE REFERENCE:  
SOUTHWEST CORNER LOT 3, BLOCK 3:  
N: 1433507.55  
E: 3219363.17

BENCHMARK:  
ALL ELEVATIONS ARE BASED ON NGS CONTROL POINT E390, LOCATED AT THE  
SE CORNER OF THE RAILROAD TRACKS AND WCR #74, ELEVATION = 4823.20  
(DATUM - NAVD88).

SITE BENCHMARK: CP99 - 12" SPIKE; ELEVATION 4814.87  
N: 1433659.05, E: 3219573.37

## NOTES

1. ALL PAVEMENT AND EARTHWORK SHALL CONFORM TO THE GEOTECHNICAL REPORT THIS SITE.
2. ALL WORK SHALL CONFORM TO THE TOWN OF EATON CONSTRUCTION STANDARDS AND SPECIFICATIONS, CURRENT EDITION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES.
4. DIMENSIONS ARE TO FLOWLINE OR CENTER OF PAINT MARKING, UNLESS NOTED OTHERWISE.
5. ALL SURFACES SHALL BE THOROUGHLY CLEANED PRIOR TO INSTALLATION OF STRIPING AND ANY SYMBOLS.
6. TRASH ENCLOSURE FOR THIS SITE IS LOCATED NORTH OF THE SUBJECT PROPERTY WITHIN COMMON AREA FOR THE DEVELOPMENT.
7. HAZARDOUS MATERIALS WILL BE LOCATED INSIDE THE BUILDING UNTIL TIME OF REMOVAL FROM THE SITE AND PROPER DISPOSAL.
8. TOPOGRAPHIC SURVEY COMPLETED APRIL 29, 2022.

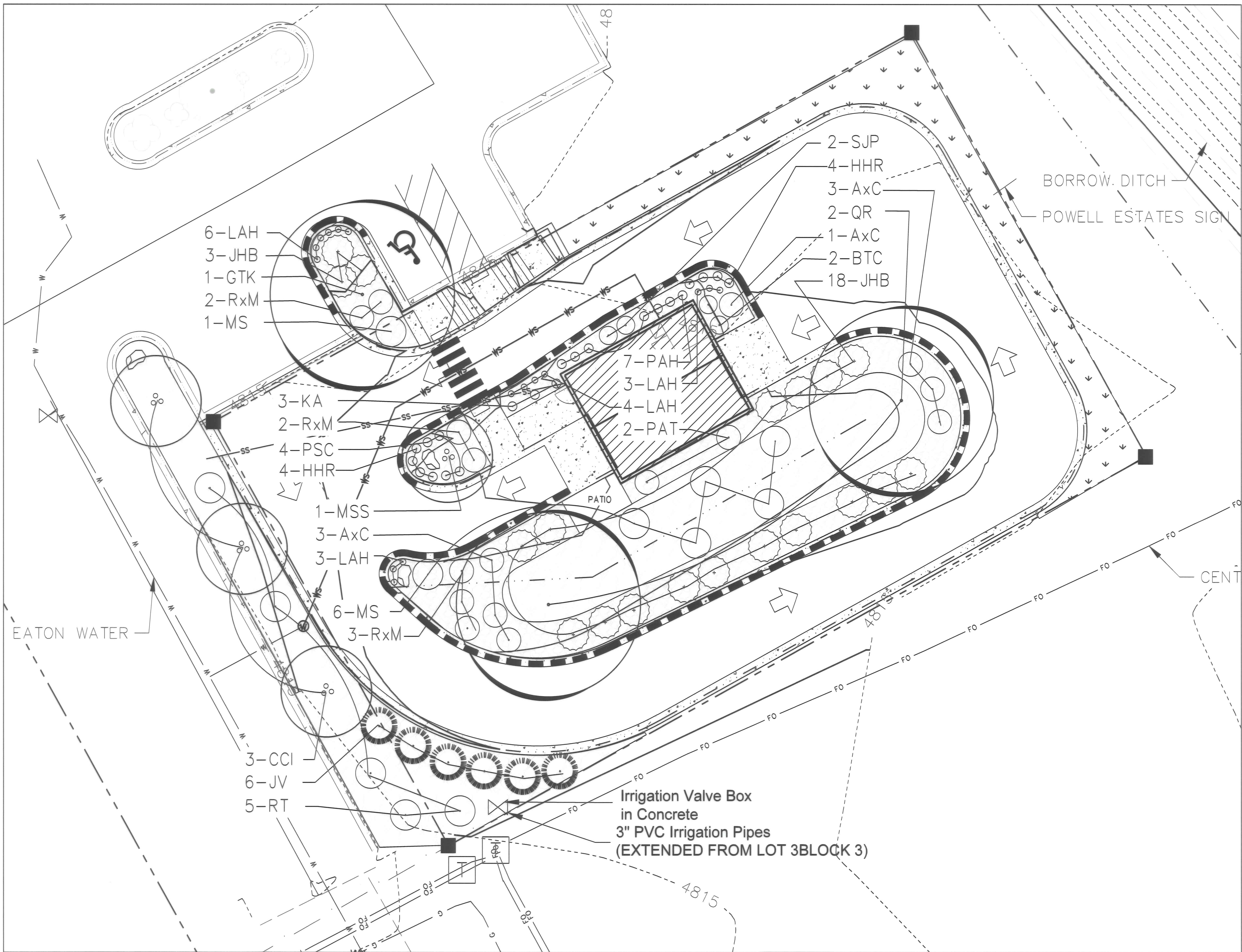
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Costa Oil Change Kiosk  
PUD FIRST REPLAT  
LOT 4, BLOCK 3  
SITE DEVELOPMENT PLAN



PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES	QTY	GROWTH HEIGHT	GROWTH SPREAD
DECIDUOUS TREES							
GTK	Gleditsia tiananthos inermis 'Skyline'	Skyline Locust	2" cal	B+B	1	60'-75'	30'-40'
QR	Quercus robur	English Oak	2" cal	B+B	2	60'-75'	40'-50'
ORAMENTAL TREES							
CCI	Crataegus crus-galli inermis	Thornless Cockspear Hawthorne	1.5" cal	B+B	3	15'-18'	15'-20'
MSS	Malus 'Spring Snow'	Snow Crabapple	1.5" cal	B+B	1	12'-20'	15'-20'
EVERGREEN TREES							
JV	Juniperus scopulorum 'Rocky Mountain'	Rocky Mountain Juniper	25 gal.	6' oc	6	30'-50'	15'-30'
JHB	Juniperus horizontalis 'Bar Harbor'	Bar Harbor Juniper	5 gal.	3' o.c.	21	1'-2'	3'-5'
DECIDUOUS SHRUBS							
AxC	Arctostaphylos x coloradoensis	Panchito Manzanita	5 gal.	4' o.c.	7	1'-2'	3'-5'
BTC	Berberis thunbergii 'Crimson Pygmy'	Crimson Pygmy Japanese Barberry	5 gal.	5' o.c.	2	1'-2'	3'-5'
SJP	Spiraea japonica 'Little Princess'	Little Princess Spirea	5 gal.	3' o.c.	2	2'-4'	2'-4'
PAT	Perovskia atriplicifolia	Russian Sage	5 gal.	3' o.c.	2	6'-8'	4'-6'
RxM	Rosa x 'Meidiland White'	White Meidiland Rose	5 gal.	3' o.c.	7	3'-4'	2'-3'
RT	Rhus trilobata	Three Leaf Sumac	5 gal.	3' o.c.	5	3'-6'	2'-6'
PERENNIALS AND ORNAMENTAL GRASSES							
MS	Miscanthus sinensis 'Morning Lights'	Morning Lights Fountain Grass	1 gal.	24" o.c.	7		
KA	Calamagrostis x acutiflora 'Karl Forester'	Karl Forester Grass	1 gal.	24" o.c.	3		
HHR	Hererocalis 'Stella d' Oro'	Dwarf Daylily	1 gal.	24" o.c.	8		
LAH	Lavandula angustifolia 'Hidcote'	Deep Blue Lavender	1 gal.	18" o.c.	13		
PSC	Phlox subulata	Creeping Phlox	1 gal.	24" o.c.	4		
PAH	Pennisetum alopecuroides 'Hamlin'	Dwarf Fountain Grass	1 gal.	12" o.c.	7		

NOTE: IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN GRAPHIC AND THE LANDSCAPE LEGEND, THE PLANT MATERIAL QUANTITY AS DETERMINED BY THE PLAN GRAPHIC SHALL TAKE PRECEDENCE.

PLANT NOTES

- ALL PLANT MATERIAL SHALL MEET SPECIFICATIONS OF THE AMERICAN ASSOCIATION OF NURSERMEN (AAN) FOR NUMBER ONE GRADE. ALL TREES SHALL BE BALLED AND BURLAPPED OR EQUIVALENT.
- NO PLANT MATERIAL WITH MATURE GROWTH GREATER THAN THREE FEET (3') IN HEIGHT SHALL BE PLANTED WITHIN WATER AND SEWER EASEMENTS.
- NO SHRUBS SHALL BE PLANTED WITHIN FIVE (5) FEET OR TREES WITHIN (10) FEET OF POTABLE AND NONPOTABLE WATER METERS, FIRE HYDRANTS, SANITARY SEWER MANHOLES, OR POTABLE WATER, SANITARY SEWER, AND NON POTABLE IRRIGATION MAINS AND SERVICES.(VOLUME II, SECTION 2.05.B)
- DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS DONE BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
- ALL LANDSCAPE AREAS WITHIN THE SITE SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. AN IRRIGATION PLAN WILL BE REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- ALL TURF AREAS TO BE SODDED AND IRRIGATED WITH AN AUTOMATIC POP-UP IRRIGATION SYSTEM. ALL SHRUB BEDS AND TREES ARE TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION (TRICKLE) IRRIGATION SYSTEM, OR ACCEPTABLE ALTERNATIVE. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE WATER REQUIREMENTS OF THE INDIVIDUAL PLANT MATERIAL.
- ALL SHRUB BEDS TO BE MULCHED 3" DEEP WITH 3/4" RIVER ROCK PLACED ON WEED BARRIER FABRIC.
- EDGING BETWEEN GRASS AND SHRUB BEDS SHALL BE 1/2" X 4" STEEL SET LEVEL WITH TOP OF GRADE.
- TOPSOIL: TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE.
- SOIL AMENDMENTS: PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED. 4 CU YRDS./1000 SQ.FT. OF ORGANIC AMENDMENTS SUCH AS COMPOST, PEAT, OR AGED MANURE SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL.

PLANT LEGEND

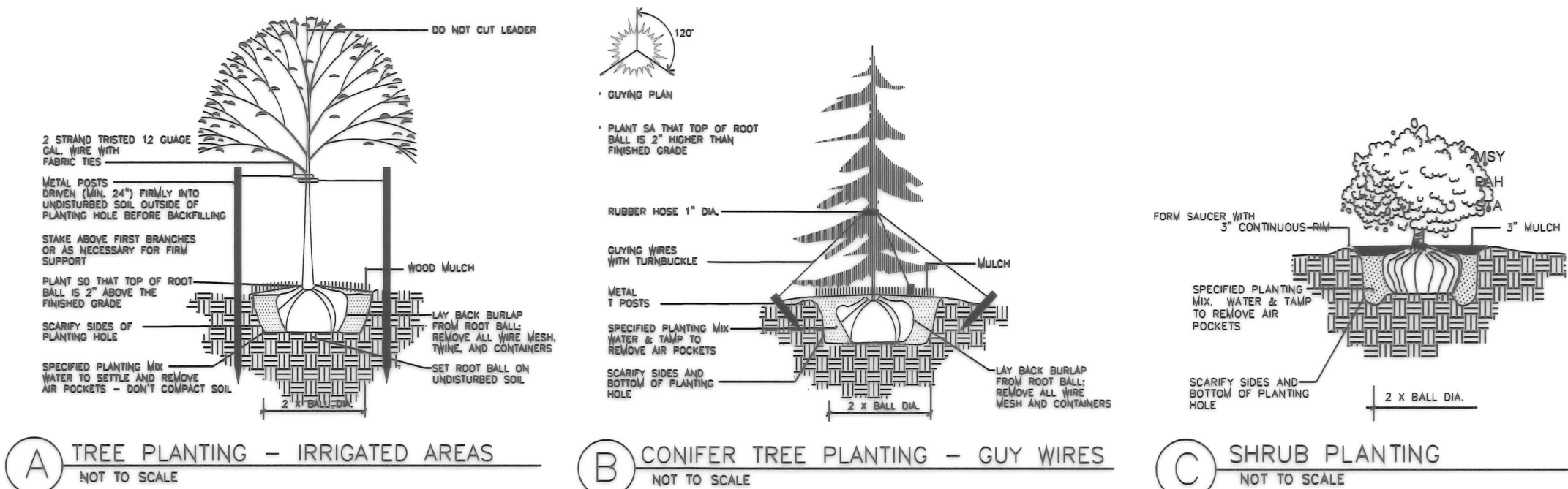
- DECIDUOUS CANOPY TREES
- ORNAMENTAL TREES
- EVERGREEN TREES
- PERENNIALS
- 3/4"-2" ROCK MULCH
- 2"-4" COBBLE ROCK MULCH
- WARM SEASON MIXED GRASS PRAIRIE NATIVE SEED
- SHREDDED CEDAR BARK MULCH
- Grey Crusherfines
- 3' to 4' BOULDER
- EXISTING DECIDUOUS TREE

IRRIGATION NOTES

- IRRIGATION CONTRACTOR SHALL VERIFY AVAILABLE P.S.I. AND G.P.M. THIS SYSTEM SHALL THEN BE VERIFIED TO MEET THE AVAILABLE P.S.I. AND G.P.M. AND PROPOSED IRRIGATION SYSTEM. IF NECESSARY CONTACT THE WATER DEPARTMENT PRIOR TO BEGINNING DESIGN TO OBTAIN AVAILABLE PRESSURES
- ALL INDICATED SOD GRASS AREAS ARE TO BE IRRIGATED BY A PERMANENT UNDERGROUND AUTOMATIC IRRIGATION SYSTEM. TURF AREAS LESS THAN 25 FEET IN WIDTH ARE TO BE IRRIGATED WITH POP-UP SPRAY HEADS AND AREAS GREATER THAN 25 FEET SHALL USE A ROTOR POP-UP SPRAY SYSTEM.
- ALL TREES, SHRUB, AND PERENNIALS OUTSIDE OF IRRIGATED SOD AREAS ARE TO BE IRRIGATED WITH A PERMANENT IRRIGATION DRIP SYSTEM.
- QUICK COUPLERS SHALL BE PROVIDED AT EACH POINT OF CONNECTION AND AT REGULAR SPACING ALONG THE IRRIGATION MAINLINE. SPACING OF QUICK COUPLERS SHALL NOT EXCEED 200 FEET. LOCATE QUICK COUPLER VALVE AT A POINT OF EASY ACCESS.
- FINAL LOCATION OF IRRIGATION HEADS MUST BE APPROVED BY OWNER REPRESENTATIVE PRIOR TO PLANTING. HEAD LOCATION SHALL BE CHANGED IN THE FIELD WITH EXISTING SITE CONDITIONS AND PLANT MATERIAL.
- ALL IRRIGATION TRENCHES SHALL BE PROPERLY WATERED AND COMPACTED TO AVOID FUTURE SETTLING. ANY SETTLING DURING WARRANTY PERIOD WILL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- COORDINATE ALL IRRIGATION WORK WITH EXISTING UTILITIES AND RESPECTIVE TRADES.
- ALL IRRIGATION SLEEVING SHALL BE APPROVED AND INSTALLED BY GENERAL CONTRACTOR, IRRIGATION CONTRACTOR SHALL COORDINATE SLEEVING LOCATIONS WITH GENERAL CONTRACTOR. ALL IRRIGATION SLEEVING TO BE STAKED IN THE FIELD OR LOCATED ON DIMENSIONED "AS-BUILT" DRAWINGS BY THE GENERAL CONTRACTOR TO ALLOW FUTURE USE AND LOCATION.
- AUTOMATIC IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN AUTOMATIC RAIN DETECTION DEVICE.

UTILITY LEGEND

- EXISTING ELECTRIC
- EXISTING COMMUNICATION
- EXISTING GAS
- WATER
- SANITARY SEWER
- FIBER OPTIC



ENGINEER

I2 CONSULTANTS inc.  
TROY CAMPBELL, PE  
970-217-9148  
troy@i2consultants.com

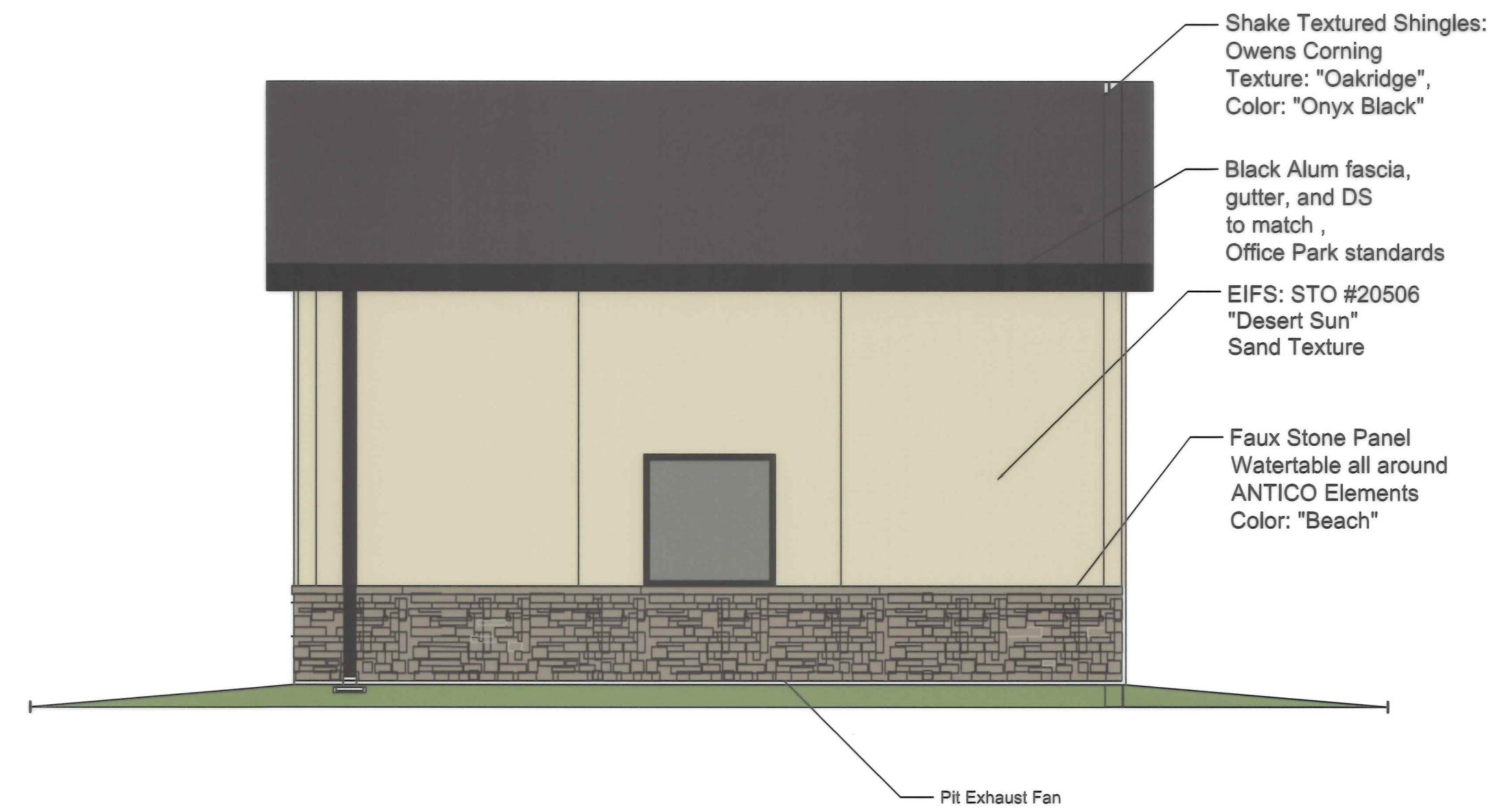
LANDSCAPE ARCHITECT

PLANSCAPES  
880 NORWAY MAPLE DRIVE  
LOVELAND, CO  
970-988-5301

LANDSCAPE PLAN

DATE 05/09/2022  
JOB NO.  
DRAWN RM  
CHECKED RM  
REVISED

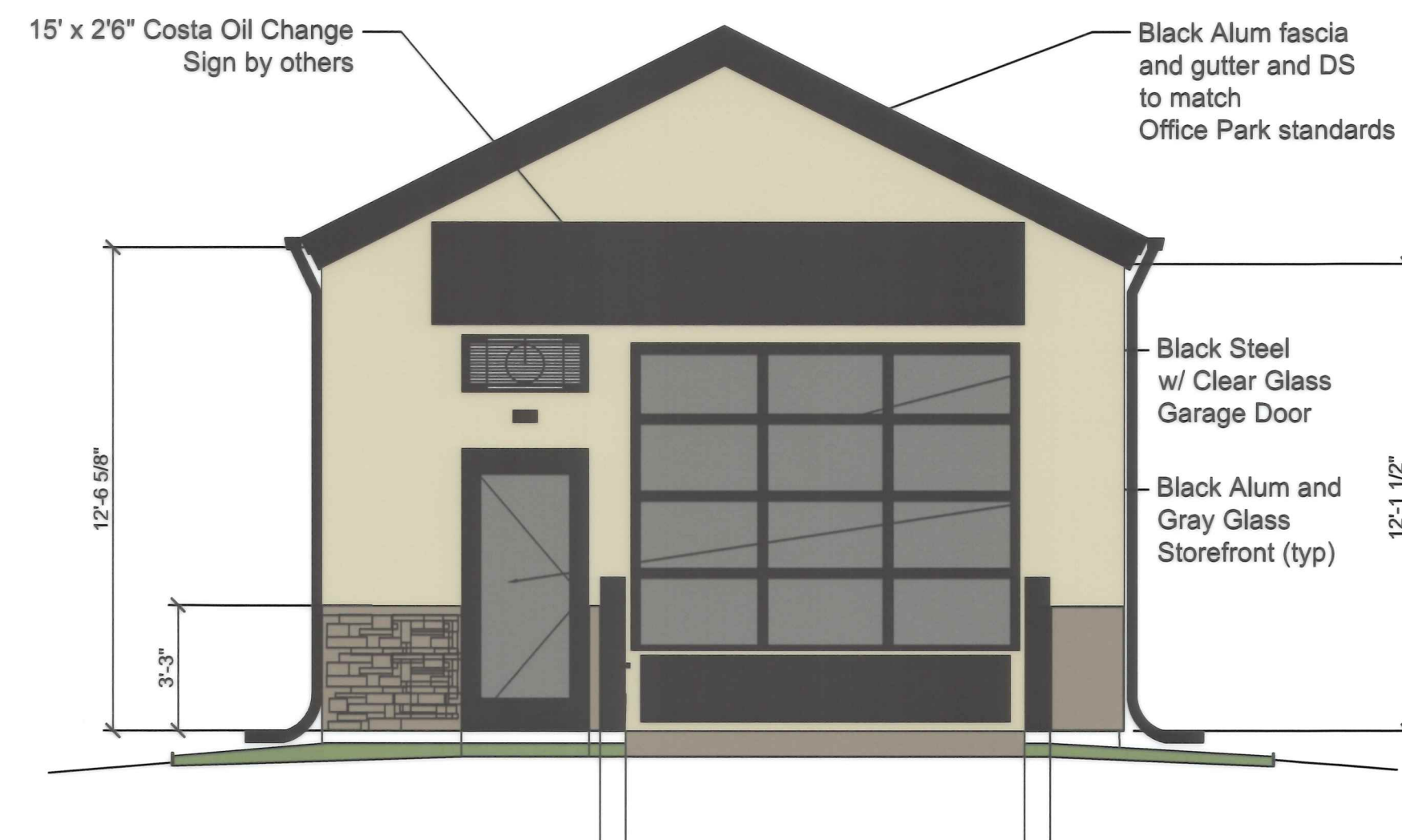




1 South Elevation  
3/8" = 1'-0"



2 North Elevation  
3/8" = 1'-0"



3 West Elevation (Exit)  
3/8" = 1'-0"



4 East Elevation (Ingress)  
3/8" = 1'-0"



## Vicinity Map

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## VICINITY MAP

N.T.S.

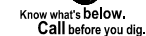
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**INC.**  
16911 Potts Place  
Mead, Colorado  
970.217.9148

**MAPLEWOOD ESTATES PUD**  
**LOT 4, BLOCK 3**  
**EATON, CO**

CLIENT: COSTA OIL  
PROJECT NO: 1077-1  
DATE: 05/18/2022  
REVISED: -

SHEET: 1 OF 1





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Inc.**  
16911 Potts Place  
Mead, Colorado  
970.217.9148



**COSTA OIL CHANGE KIOSK - 1064 - SINGLE BAY  
CONSTRUCTION DRAWINGS**

**DRAINAGE & EROSION CONTROL PLAN**

**LOCK 3 MAPLEWOOD ESTATES PHD FIRST REPLAT**

SECTION 6, TOWNSHIP 6 NORTH, RANGE 65 WEST  
TOWN OF EATON, COUNTY OF WELD, STATE OF COLORADO

DATE	BY	BY
		12 CONSULTANTS INC

[illegible]

SHEET  
C-4

4 OF 9 SHEETS



### LEGEND OF SYMBOLS

**EXISTING**

WATER LINES  
SANITARY SEWER  
ELECTRIC  
GAS  
OVERHEAD  
TELEPHONE  
STORM DRAIN

VALVE  
FIRE HYD.  
METER  
GAS VALVE  
POLE  
GUY ANCHOR  
PEDESTAL  
MANHOLE  
MANHOLE  
MANHOLE

Diagram illustrating the existing utility layout, showing various lines and structures. The layout includes Water Lines, Sanitary Sewer, Electric, Gas, Overhead, Telephone, and Storm Drain. Key components labeled include Valve, Fire Hyd., Meter, Gas Valve, Pole, Guy Anchor, Pedestal, and Manhole. The diagram shows the spatial arrangement of these utilities relative to a proposed structure.

PROPOSED

CONTOURS (1')

FLOW DIRECTION

EXISTING ASPHALT

EXISTING CONCRETE

PROPOSED CONCRETE

PROPOSED ASPHALT

**SPILL CURB & GUTTER**

DOWNSPOUT LOCATION

DESIGN POINT

MAJOR SITE DRAINAGE BASIN

1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 2679, 26

BASIN BOUNDARY

100

CONCRETE WASHOUT AREA

VEHICLE TRACKING CONTROL

### INLET PROTECTION

### INLET PROTECTION

ROCK SOCK



SURVEY NOTES:

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983  
NGS CONTROL POINT E390  
N: 1434879.66  
E: 3219913.49

COORDINATE REFERENCE:  
SOUTHWEST CORNER LOT 3, BLOCK 3:  
N: 1433507.55  
E: 3219363.17

BENCHMARK:  
ALL ELEVATIONS ARE BASED ON NGS CONTROL POINT E390, LOCATED AT  
THE SE CORNER OF THE RAILROAD TRACKS AND WCR #74, ELEVATION =  
4823.20 (DATUM - NAVD88).

SITE BENCHMARK: CP99 - 12" SPIKE; ELEVATION 4814.87  
N: 1433659.05, E: 3219573.37

### BASIN RUNOFF SUMMARY

BASIN ID	DESIGN PT	DESIGN AREA (ac)	DIRECT		DESCRIPTION
			Q <sub>s</sub> (cfs)	Q <sub>ao</sub> (cfs)	
A1	1	0.13	0.0	0.42	BASIN A1 TO EXISTING SWALE SOUTHEAST OF SITE
A6	6	1.14	2.27	6.95	BASIN A6 TO DESIGN POINT 6/EXISTING TYPE 13 INLET





Dear Town of Eaton,

My name is Brandon Cornelius. I am the Vice President of Costa Oils Inc. and Director of Franchise Development for the franchise entity. It was brought to my attention that there were some outstanding questions about some of our processes and best practices for our kiosk building and operations. Hopefully I can clear some of that up for you.

I would like to address the queuing of vehicles to our kiosk. We operate in the capacity of moving vehicles in and out as quickly as possible. We currently have 20 corporate stores in Pennsylvania, Ohio, and Illinois. In our experience we have never had any more than 2 cars waiting at any given time at our locations. I have been told that the data from ITE states we will have more cars than that waiting for our services. I would like to believe that from a business standpoint, but all our historical data shows that with our 10-minute model we never have more than 2 cars waiting with one vehicle in the bay other than when we do Grand Openings( as you can imagine offering free oil changes to a community causes a lot of buzz and that would be the only time there would be more than 2-3 cars queued at a location). Also of note, our proposed layout in Eaton allows us to have more vehicles than we anticipate to que in any normal day of operation. However, if cars begin stacking into the shared parking lot at this location, the management of this location will be instructed to hand out discount coupons to customers in line and ask that they return another time.

In our business we do store flammable materials such as Used Motor Oil, Wiper Fluid, Brake Cleaner and Battery Cleaner. We have protections in place to assure that there are no accidental incidents with any of our inventory. Our Used Motor Oil is stored inside of the building in a double walled steel container. The wiper fluid that we use during the warm months is a mix of water and dye only so there is no flammability to it. Once winter comes, we do switch to a -20 degrees mixture, but we use non-flammable formula <https://www.safety-kleen.com/products/windshield-washer-fluid>. Our brake cleaner and battery cleaner are all stored in a metal cabinet away from any heat sources or exposed environments. Also, all locations have a water/oil separator in accordance with local codes for plumbing.

I have spoken to Brandon Kammerzell about a monument sign option, and I think for this location it would be a good idea. Ideally, we'd like a monument sign that is visible from HWY 85 as well as signage off of Elm Street, as this would be the primary access point for our location.

Thank you for your time,

Brandon Cornelius  
Vice President - Costa Oils Inc





Dear Town of Eaton,

Below are requested water usage estimates for the Costa Oil building and landscaping provided to me by the architect/designer and landscape architect, respectively. The grand total water usage for this building is estimated to be 7,300 gallons per year and total non-potable landscape use is estimated at 4,507 gallons per year/500sf of coverage. Details are below:

**Building – Total Usage of 7,300 gal/year**

Toilet – Total 4,492 gal/year

3 employees max \* 3 restroom uses/day \* 1.6gal/flush = 14.4gal/day  
14.4 gal/day \* 6 work days/week = 86.4 gal/week  
90 gal/week \* 4 weeks/month = 345.6 gal/month  
6 work days/week \* 52 weeks \* 14.4 gal/day = 4,492gal/year

Sink (hand washing) – Total 2,808 gal/year

2 gal/minute \* .5min/wash \* 9 restroom trips/day = 9 gal/day  
9 gal/day \* 6 work days/week = 54 gal/week  
18 gal/week \* 4 weeks/month = 216 gal/month  
6 work days/week \* 52 weeks \* 9 gal/day = 2,808 gal/year

**Landscaping - Total Usage of 4,507 gal/year – Total Area of 500 square feet**

13 trees x 3gal / hr x 20min/night = 12.87 gal/night  
25 shrubs x 1gal/hr x 20min/night = 8.25 gal/night  
42 Perennials x .5 gal/hr x 20min/night = 6.93 gal/night  
Total 28.05 gal/night

May thru September = 120 days x 28.05 = 3,366 gal

April & October = 60 days x .5 (every other day watering) x 28.05 gal = 1,141 gal

Total square footage of the landscaping is 500 square feet.

The non-potable line located SW of the lot where this project is located. Tying into this non-potable line for irrigation line will be done through the utilities easement on the south side of this lot and extending to the west between two adjacent lots.

Regards,

Brandon Kammerzell

Owner/Operator

Costa Oil 10 Minute Oil Change