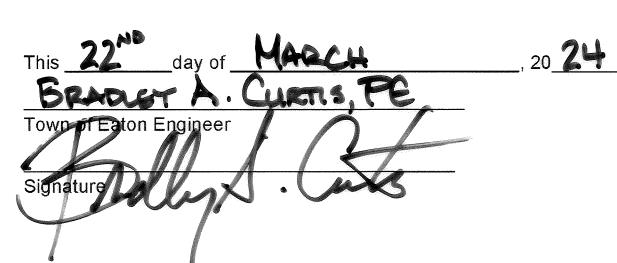
# AGFINITY CORPORATE OFFICE SITE DEVELOPMENT PLAN 110 COLLINS ST

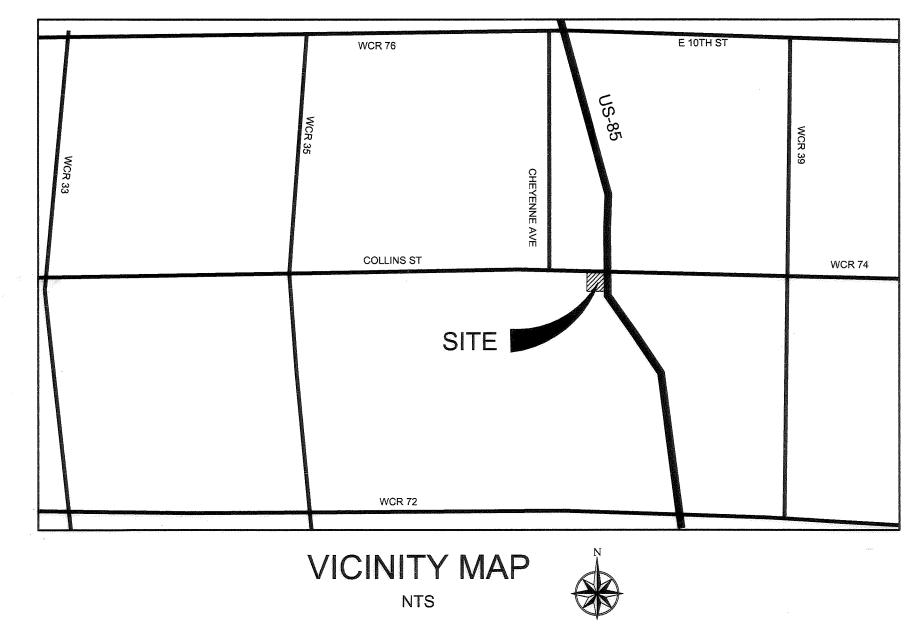
### LOT 1, BLOCK 1 MAPLEWOOD ESTATES FIRST REPLAT

LOCATED IN PART OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 6 NORTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF EATON, COUNTY OF WELD, STATE OF COLORADO

PROPERTY OWNER CERTIFICATION:	
By signing this Site Plan AGFINITY TINE. for which this plan has been created, accepts all of the recherein.	as owner or assignee of the land quirements and conditions set forth
(Chose the Corporate or individual ownership block	based on owner type for property)
OWNER:	
Ag Ann Inc	
Name of Corporation	
By: Daniel W Riddle Ja	
Name of Signatory	
Title: LEO	
Signature: Daniel WBigst	
Date: 3/21/24	
ATTEST:	
ASMUM Johnson	
Secretary or Treasurer	
Signature: M8WW GKMW	
EATON PLANNING DEPARTMENT:	
This Site Plan was reviewed and approved by the To	wn Administrator.
This ZI day of , March , 20ZY	
Hesley LaVanchy	
Town of Eaton Administrator	
Signature	
TOWN OF EATON ENGINEERING:	
. J. I. J. L. A. D. A. L. A. D. A. L. A. M. A. L. A. L. A. M. A. L. A. L	

Review is for general compliance with Town standards and regulations. Construction must be in accordance with applicable Town standards. The Town's acceptance shall not relieve the Design Engineer's responsibility for errors, omissions, or design deficiencies for which the Town is held harmless.





### SITE DATA:

EXISTING ZONING: PUD

ADJACENT ZONING: N=C-2; S=PUD; W=PUD; E=C-2
ADJACENT USES: BUSINESS
SITE SF & ACREAGE: 37,540 SF / 0.862 ACRES
REQUIRED SETBACKS:
NORTH: 10'
EAST: 10'
WEST: 10'

### LAND USE DATA:

SOUTH: 10'

BUILDING FOOTPRINT: 5,832 16.00% IMPERVIOUS SURFACES: 12,487 33.25% OTHER IMPERVIOUS AREAS - N/A LANDSCAPE AREA (ON-SITE): 19,065 50.76%

TOTAL:

37,560 SF

3 STORIES

100.00% 0.8623 AC

### **BUILDING DATA:**

BLDG FOOTPRINT: 5,832 SF BUILDING HEIGHT: 30'-2"

MAX BUILDING HEIGHT SF BY USE:

BUSINESS OFFICES: 4,652
CONFERENCE AREA: 689
STORAGE: 115
OTHER: 376

### PARKING SUMMARY:

PARKING REQUIREMENT = 1 / 500 SF TOTAL SF = 5832 / 500 = 12

ADA SPACES REQUIRED / PROVIDED: 1 (1 VAN ACCESSIBLE) / 1
TOTAL PARKING SPACES REQUIRED / PROVIDED: 12 / 18

### PROJECT PURPOSE/DESCRIPTION:

THIS PROJECT PROPOSES A DEMOLITION AND RECONSTRUCTION OF AN EXISTING BUILDING TO ACCOMMODATE NEW OFFICE USE. EXISTING SITEWORK WILL BE DEMOLISHED AND RECONSTRUCTED TO ALLOW FOR IMPROVED CIRCULATION. LANDSCAPE, PARKING, AND LIGHTING WILL BE PROVIDED PER TOWN CODE'.

### **DEVELOPMENT TEAM:**

OWNER / DEVELOPER: AGFINITY

260 FACTORY RD EATON, CO 80615 970.454.3391

ARCHITECT:
INFUSION ARCHITECTS
MELISSA LANNING
4487 HIGHLAND MEADOWS PKWY
WINDSOR, CO 80550
melissa.lanning@infusionarchitects.com

PLANNER / LANDSCAPE ARCHITECT:

NATURAL DESIGN SOLUTIONS - JASON R OLDHAM
5539 COLT DR

LONGMONT, CO 80503
jason@ndscolorado.com, 970-420-9555

CIVIL ENGINEER:
MIKE BEACH
RIDGETOP ENGINEERING & SURVEYING
541 E GARDEN DR N
WINDSOR, CO 80550
970-663-4552

# AGFINITY CORPORATE OFFICE 110 COLLINS ST - EATON, CO

SHEET INDEX:

- I. COVER PAGE
- 2. SITE PLAN
- 3. UTILITY PLAN
- 4. EROSION CONTROL PLAN
- 5. GRADING / DRAINAGE PLAN
- 6. ARCHITECTURAL ELEVATIONS
- 7. ARCHITECTURAL ELEVATIONS
- 8. ARCHITECTURAL DETAILS
- 9. LANDSCAPE PLAN
- 10. LANDSCAPE PLAN DETAILS AND NOTES
- 11. PHOTOMETRIC
- 12. PHOTOMETRIC DETAILS AND NOTES

PROJ. NO.:

DATE: 11.28.23

SCALE: See Sheet

DRAWN: JRO

CHKD BY: NAM

SHEET 1 of 12

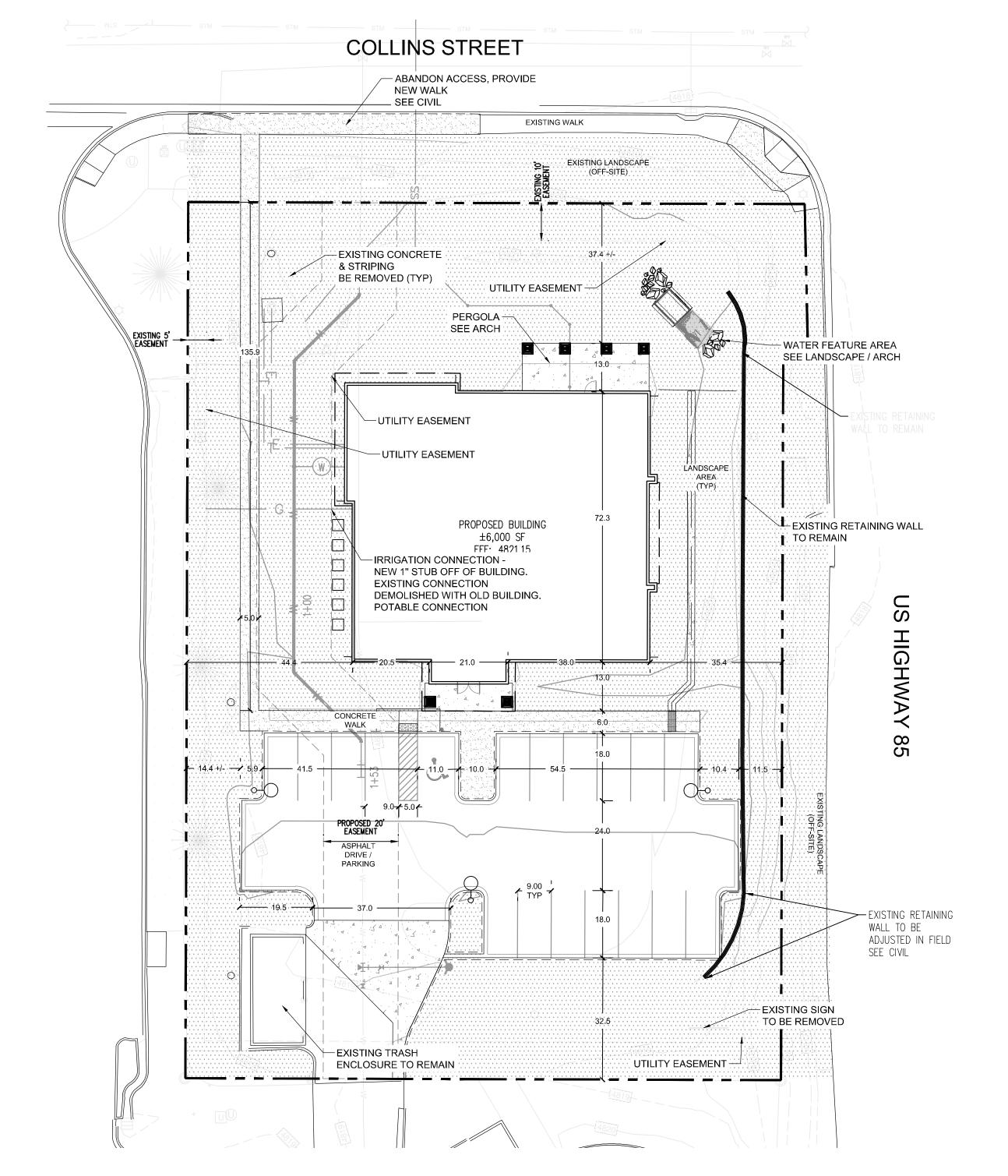
# AGFINITY CORPORATE OFFICE SITE DEVELOPMENT PLAN 110 COLLINS ST

### LOT 1, BLOCK 1 MAPLEWOOD ESTATES FIRST REPLAT

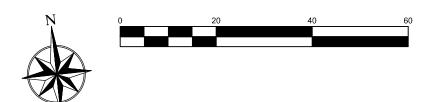
LOCATED IN PART OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 6 NORTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN TOWN OF EATON, COUNTY OF WELD, STATE OF COLORADO

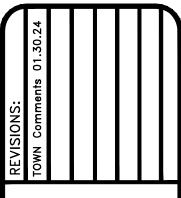
### PLAN NOTES

- 1. REFER TO UTILITY PLANS FOR ALL UTILITY, DRAINAGE, GRADING, EROSION CONTROL AND STREET DESIGN REQUIREMENTS.
- 2. PARKING LOT LIGHTING IS TO BE DESIGNED AS "FULL CUT-OFF".
- 3. ALL SIGNS SHALL COMPLY WITH THE TOWN OF EATON SIGN REGULATIONS / SIGN PERMIT REQUIREMENTS.
- 4. SEE CIVIL PLANS FOR PAVEMENT TYPES AND DEPTHS.
- 5. THE CONTRACTOR SHALL NOT PURPOSEFULLY PROCEED WITH ANY CONSTRUCTION PER PLANS PROVIDED WHEN OBSTRUCTIONS AND / OR DIFFERENCES EXIST THAT WERE NOT CONSIDERED AND REVIEWED OR APPROVED. CONTRACTOR SHALL NOTIFY OWNER OR OWNER'S REPRESENTATIVE AND THE TOWN OF EATON IF SITUATION ARISES AND REVISIONS ARE NECESSARY.
- 6. THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND OTHER POLLUTANTS FROM ENTERING ANY STORM WATER SEWER SYSTEM OR, ADJACENT WATER WAYS, ETC., DURING THE DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE AND EXPENSE FOR THE CORRECTION OF ANY ADVERSE IMPACTS TO THE STORM WATER SEWER SYSTEM OR, ADJACENT WATER WAYS, WETLANDS ETC., RESULTING FROM THE WORK DONE AS PART OF THIS PROJECT/CONTRACT.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE PRIOR TO BIDDING AND CONSTRUCTION, OF BECOMING AWARE OF ALL EXISTING AND PROPOSED UTILITIES, PIPES, STRUCTURES, ETC. CALL UNCC THREE DAYS BEFORE SCHEDULED WORK AT 811 OR 1-800-922-1987.
- 8. MONUMENT SIGNAGE TO BE APPROVED THROUGH SEPARATE SIGN PERMIT WITH THE TOWN OF EATON.
- 9. DITCH TO BE PRESERVED DURING CONSTRUCTION. NO CONSTRUCTION ACTIVITIES TO OCCUR IN DITCH AREA.











PROJ. NO.: SCALE: See Sheet

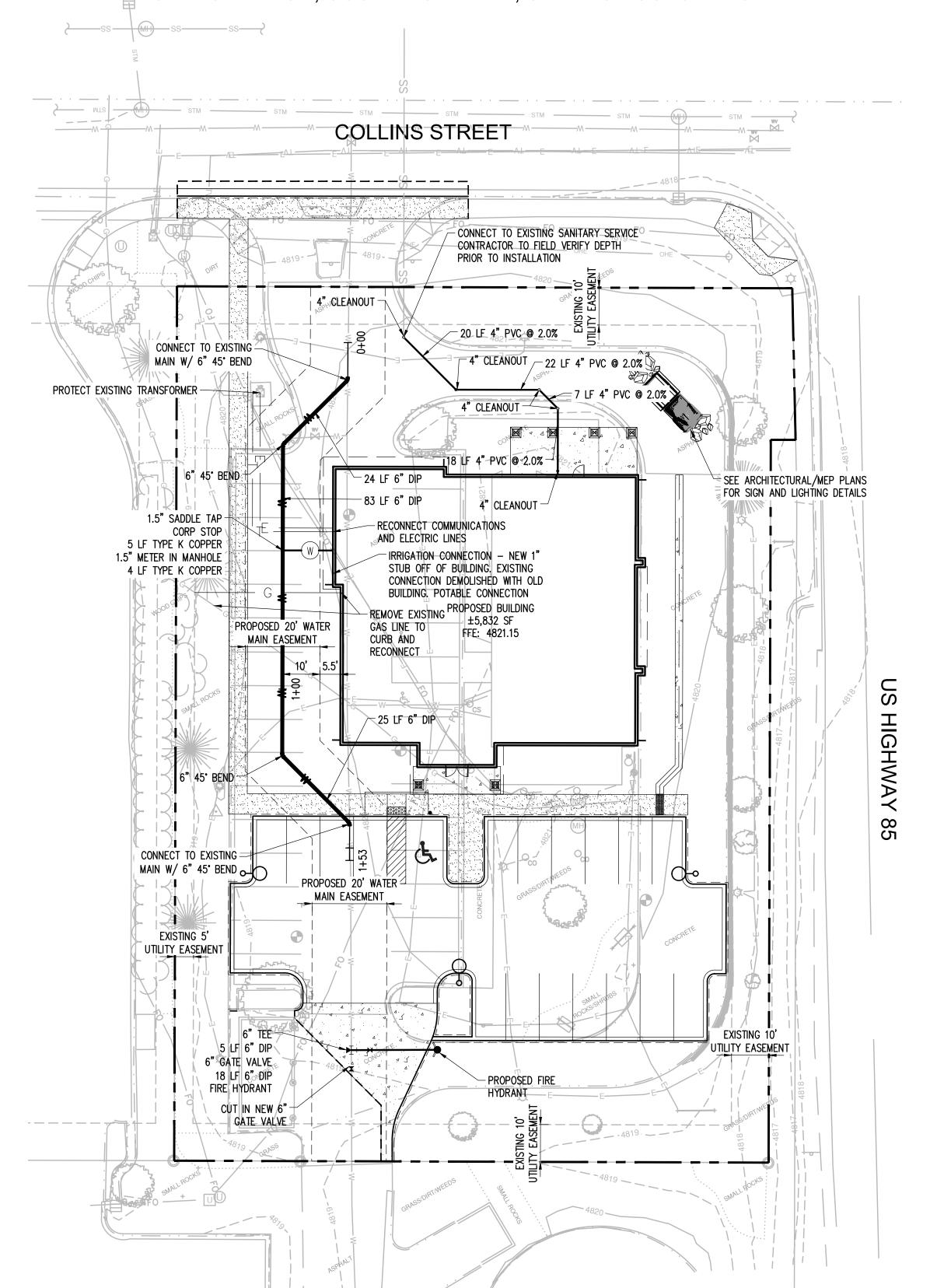
CHKD BY: NAM

# AGFINITY CORPORATE OFFICE

110 COLLINS ST

LOT 1, BLOCK 1 MAPLEWOOD ESTATES FIRST REPLAT
LOCATED IN PART OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 6 NORTH, RANGE 65
WEST OF THE 6TH PRINCIPAL MERIDIAN

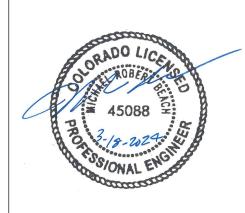
TOWN OF EATON, COUNTY OF WELD, STATE OF COLORADO





	PROPERTY LINE
	CURB AND GUTTER
——x———x——	FENCE
	BUILDING SETBACK
	PROPOSED BUILDING
——w ——	WATER LINE
——————————————————————————————————————	SEWER LINE
——— G ———	GAS LINE
———E———	ELECTRIC LINE
T	COMMUNICATIONS LIN
•	SANITARY MANHOLE





AGFINITY CORPORATE OFFICES

110 COLLINS STREET EATON, CO 80615

PREPARED FOR

AGFINITY INC.

44065 ST CLOUD DRIVE STE 100 LOVELAND, CO 80538

SUBMITTAL
SITE DEVELOPMENT
PLAN

DRAWN BY:
CHECKED BY:
PROJECT NO.:
REVISIONS

TE

12/04/2023

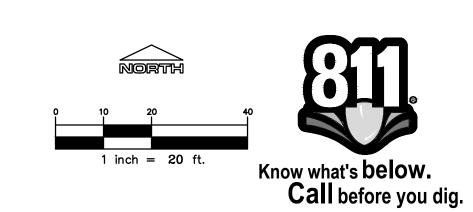
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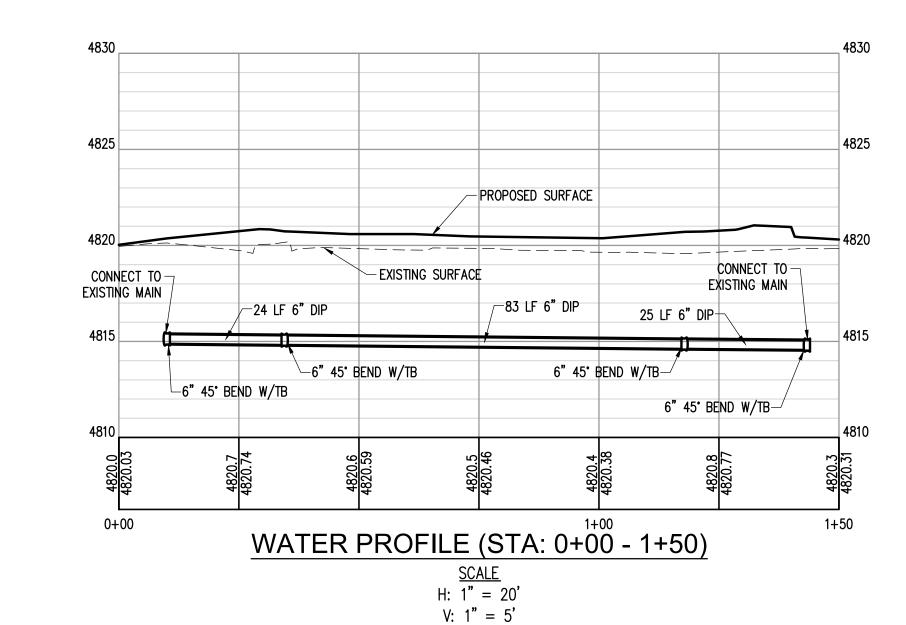
UTILITY PLAN

SHEET INFORMATION

C-3.0

**3** Of





# AGFINITY CORPORATE OFFICE

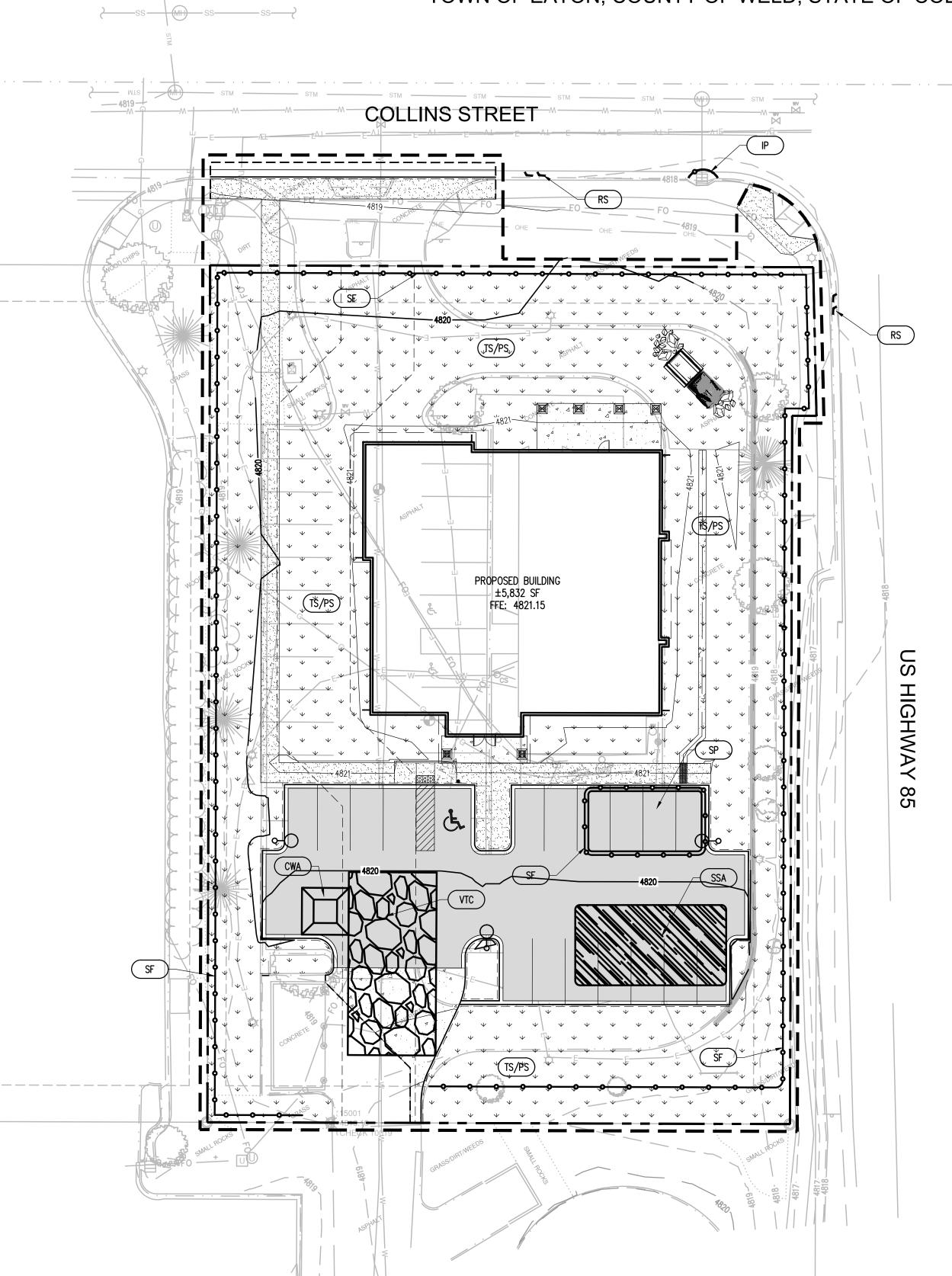
110 COLLINS ST

LOT 1, BLOCK 1 MAPLEWOOD ESTATES FIRST REPLAT

LOCATED IN PART OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 6 NORTH, RANGE 65

WEST OF THE 6TH PRINCIPAL MERIDIAN

TOWN OF EATON, COUNTY OF WELD, STATE OF COLORADO



IOTE:

IOTE:

IOTE:

A. INSPECTION OF ALL EROSION AND SEDIMENT CONTROL BMP'S SHALL BE REQUIRE

AT THE END OF EACH DAY'S WORK, WITH NECESSARY MAINTENANCE AND

REPAIRS PROVIDED IMMEDIATELY

B. STORM DRAIN INLETS SHALL BE PROTECTED FROM THE ENTRY OF SEDIMENT—LADEN WATER UNTIL FINAL STABILIZATION IS COMPLETE.

C. TOWN OF EATON STORMWATER STAFF MAY DIRECT THE OWNER/OPERATOR TO INSTALL ADDITIONAL BMPS, REPAIR EXISTING BMPS, OR CLEAN DISCHARGES THAT HAVE BEEN TRANSPORTED OFFSITE IF EXISTING BMPS FAIL AND RESULTABLE OF TO THE OUT OF STORMWATER OVERTER.

D. IF, AT ANY TIME, THE DIRECTOR OF PUBLIC WORKS DECIDES THAT THE PROJECT POSES A SIGNIFICANT THREAT TO THE CITY'S STORM DRAINAGE SYSTEM OR WATERS OF THE STATE, HE OR SHE MAY REQUIRE THAT THE PROJECT OBTAIN A TOWN OF EATON LAND GRADING PERMIT.

### LEGEND

LIMITS OF DISTURBAN

PROPERTY LINE

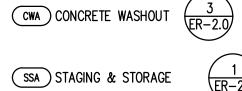
EX. CONTOUR

EROSION DETAILS

VTC CONSTRUCTION EXIT ER

SF SILT FENCE

(CWA) CONCRETE WASHOU













AGFINITY CORPORATE OFFICES

110 COLLINS STREET EATON, CO 80615

PREPARED FOR

AGFINITY INC.

44065 ST CLOUD DRIVE STE 100 LOVELAND, CO 80538

CONTRACTOR SHALL LEAVE EXPOSED DISTURBED SOILS IN A SURFACED ROUGHENED STATE UNTIL CONSTRUCTION ACTIVITIES ARE COMPLETE. IF NO CONSTRUCTION IS TO TAKE PLACE WITHIN 30 DAYS WHERE SOILS ARE DISTURBED, TEMPORARY SEED MUST BE APPLIED, SEE SEEDING NOTE, THIS SHEET

NOTE TO CONTRACTOR:
WHILE THE LIMITS OF DISTURBANCE SHOWN INCLUDES ALL
OF THE SITE, THE CONTRACTOR SHALL LIMIT DISTURBANCE
OF NATURAL VEGETATION AS MINIMALLY AS NECESSARY TO
COMPLETE THE PROPOSED WORK. TEMPORARY/PERMANENT
SEEDING SHALL ONLY APPLY TO THOSE AREAS DISTURBED.
ALSO, THE CONTRACTOR WILL BE REQUIRED TO SWEEP OR
VACUUM ANY VISIBLE SEDIMENT THAT IS TRACKED ONTO
CITY STREETS.

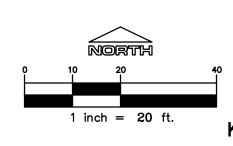
ACREAGE SUMMARY (II	N ACRES
SITE AREA	0.86 AC±
ON-SITE DISTURBED AREA	0.86 AC±
OFF-SITE DISTURBED AREA	0.10 AC±
TOTAL DISTURBED AREA	0.96 AC±

### **SEEDING NOTE:**

TEMPORARY SEEDING — WITHIN 14 DAYS AFTER CONSTRUCTION ACTIVITY CEASES ON ANY PARTICULAR AREA, ALL DISTURBED GROUND WHERE THERE WILL NOT BE CONSTRUCTION FOR LONGER THAN 21 DAYS MUST BE SEEDED WITH FAST-GERMINATING TEMPORARY SEED AND PROTECTED WITH MULCH.

PERMANENT SEEDING — ALL AREAS AT FINAL GRADE MUST BE SEEDED WITHIN 14 DAYS AFTER COMPLETION OF THE MAJOR CONSTRUCTION ACTIVITY.

REFER TO LANDSCAPE PLAN FOR SEED MIXTURES.





SUBMITTAL
SITE DEVELOPMENT
PLAN

DRAWN BY: KN
CHECKED BY: MF
PROJECT NO.:
REVISIONS

12/04/2023

SHEET TITLE

EROSION CONTROL PLAN

SHEET INFORMATION

ER-1.0

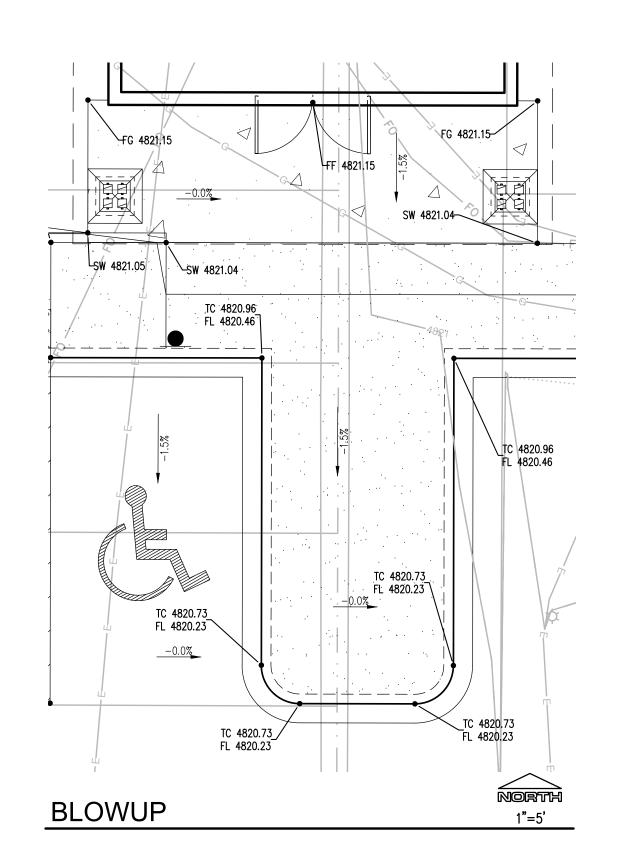
**4** Of

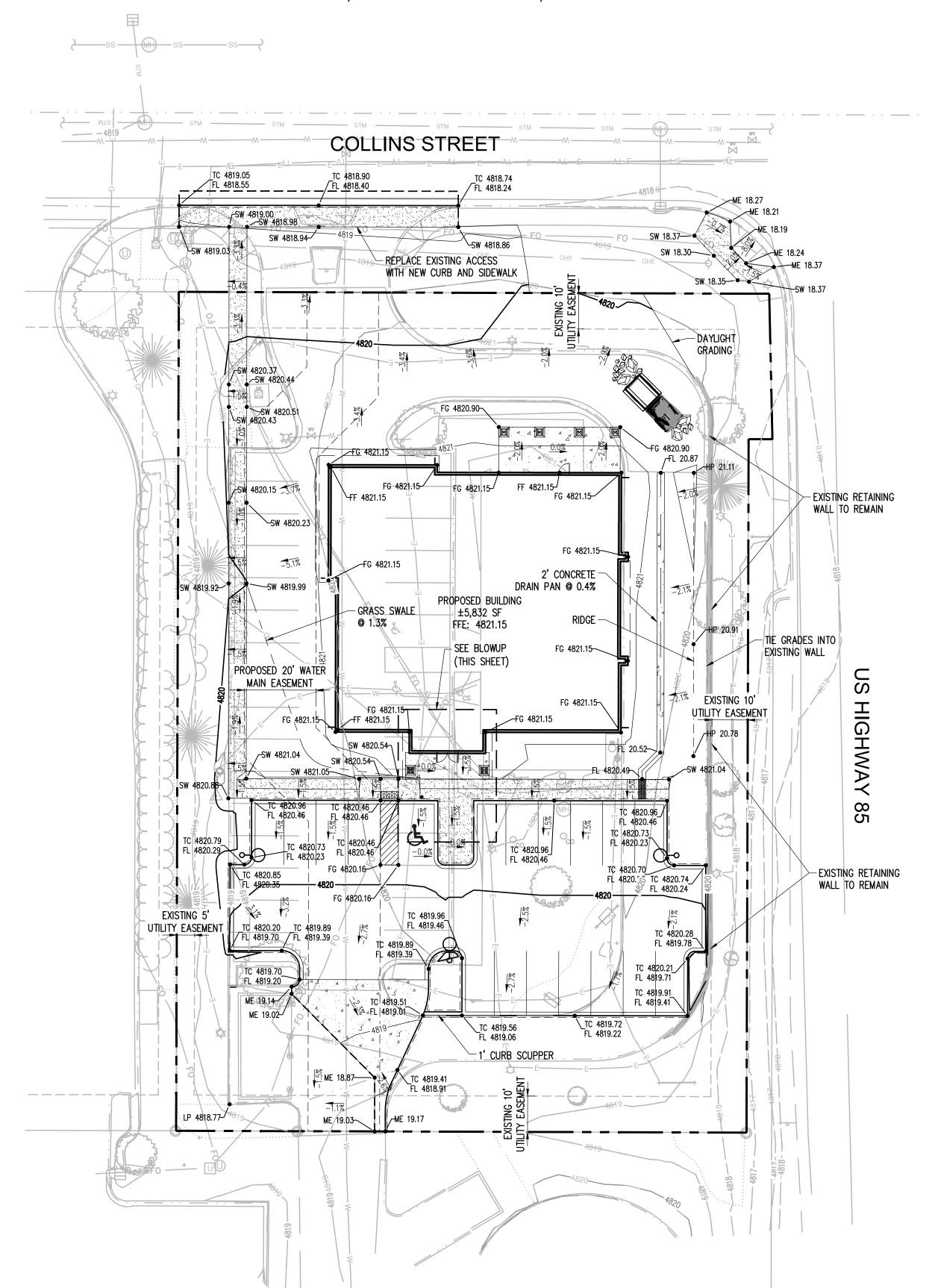
# AGFINITY CORPORATE OFFICE

110 COLLINS ST

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LOCATED IN PART OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 6 NORTH, RANGE 65
WEST OF THE 6TH PRINCIPAL MERIDIAN

TOWN OF EATON, COUNTY OF WELD, STATE OF COLORADO





### LEGEND

EX. CONTOUR	24
PROPOSED CONTOUR	<del></del>
PROPERTY LINE	<del></del>
SPOT ELEVATION	<u>4653</u> ●
TOP OF CURB	TC
FINISHED GRADE	FG
FINISHED FLOOR	FF
SIDEWALK	SW
MATCH EXISTING	ME

SEAL

ORADO LICADORADO LICADORADO

AGFINITY CORPORATE OFFICES

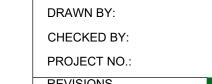
110 COLLINS STREET EATON, CO 80615

PREPARED FOR

AGFINITY INC.

44065 ST CLOUD DRIVE STE 100 LOVELAND, CO 80538

CONTRACTOR SHALL POTHOLE ALL NEW AND/OR EXISTING UTILITY CROSSINGS AND POINTS OF CONNECTION TO CONFIRM DEPTH AND LOCATION AS FIRST ORDER OF WORK.



SITE DEVELOPMENT

PROJECT NO.:

REVISIONS

SUBMITTAL

12/04/2023

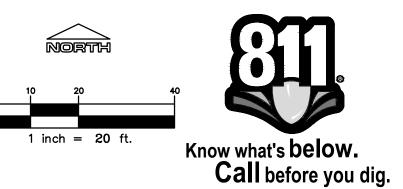
SHEET TITLE

GRADING & DRAINAGE PLAN

SHEET INFORMATION

C-2.0

5 Of





			EXTERIOR MATERIALS		
KEYNOTE	MATERIAL	MANUFACTURER	PRODUCT NAME	COLOR NAME	REMARKS
CJ-1	CONTROL JOINT	CEMCO	DOUBLE "V"	MATCH W-1	
F-1	EXTERIOR WINDOW FILM	3M	SUN CONTROL WINDOW PRESTIGE EXTERIOR	PR2OX	
FA-1	FASCIA	JAMES HARDIE		SW 7020 - BLACK FOX	
GD-1	PRE-FINISHED METAL GUTTER & DOWNSPOUT			PAINTED TO MATCH FASCIA	
GD-2	CHAIN DRAIN			STAINLESS STEEL	
R-1	ASPHALT SHINGLE ROOF	OWENS CORNING	DURATION STORM	ESTATE GRAY	CLASS 4 IMPACT RESISTANT
R-2	PRE-FINISHED STANDING SEAM METAL ROOF	BERRIDGE	TEE-PANEL	DARK BRONZE	
SF-1	ALUMINUM STOREFRONT WINDOW SYSTEM	TUBELITE		DARK BRONZE	
SN-1	EXTERIOR SIGNAGE				RE: SHEET I1.5
ST-1	STONE WAINSCOT CAP	ELDORADO STONE		BUCKSKIN	
ST-2	STONE TAPERED WALL CAP	ELDORADO STONE		BUCKSKIN	
ST-3	STONE LINTEL	ELDORADO STONE		BUCKSKIN	
ST-4	STONE HEADER	ELDORADO STONE		BUCKSKIN	
TR-1	BELLY BAND TRIM	DRYVIT		DARK CHOCOLATE OR SIMILAR	TEXTURE: SANDBLAST
TR-2	FCB TRIM	JAMES HARDIE		SW 7020 - BLACK FOX	
W-1	STUCCO	DRYVIT		PEARL ASH OR SIMILAR	TEXTURE: SANDBLAST
W-2	BOARD & BATTEN SIDING	JAMES HARDIE		SW 7020 - BLACK FOX	
W-3	STONE VENEER	ELDORADO STONE	MOUNTAIN LEDGE	SIERRA	
W-4	BOARD & BATTEN SIDING	JAMES HARDIE		SW 7020 - BLACK FOX	2X8 WD STUDS, RE: STRUCT
W-5	STONE VENEER	ELDORADO STONE	MOUNTAIN LEDGE	SIERRA	2X8 WD STUDS, RE: STRUCT
WD-1	DECORATIVE WOOD TRUSS			SW SEMI-TRANSPARENT STAIN - CHESTNUT	RE: A5.8
WD-2	DECORATIVE WOOD BRACKET			SW SEMI-TRANSPARENT STAIN - CHESTNUT	RE: A5.8
WN-1	ALUMINUM CLAD WINDOW	KOLBE	ULTRA SERIES	DARK BRONZE	



T.O. ROOF EL. = 130' - 2 1/4"

T.O. ROOF EL. = 125' - 7 1/8" (R-1) T.O. WALL EL. = 112' - 0" T.O. EAVE EL. = 110' - 9 1/2" -(W-3) FIRST FLOOR
EL. = 100' - 0" —(CJ-1) \_\_\_\_\\\_\\\ \_\_\_(TR-1) \_\_\_(W-5) 13 EXTERIOR ELEVATION - WEST
A4.1 3/16' = 1-0'

В T.O. ROOF EL. = 130' - 2 1/4" T.O. ROOF EL. = 124' - 6 1/8" (R-1) (GD-1) W-1 \
TR-1 E E (WN-1)-FIRST FLOOR EL. = 100' - 0" (GD-2) (SF-1) (ST-4) (F-1) (W-5) ST-3 EXTERIOR ELEVATION - SOUTH

3/16" = 1-0"

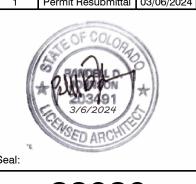
# 110 COLLINS ST, EATON, CO 80615

N

AGFINITY

PERMIT SET Issued For SD:
Issued For DD:
Issued For Permit: 11/22/2023 01/09/2024 Revision Number Description Date

1 Permit Resubmittal 03/06/2024



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EXTERIOR BUILDING ELEVATIONS

6

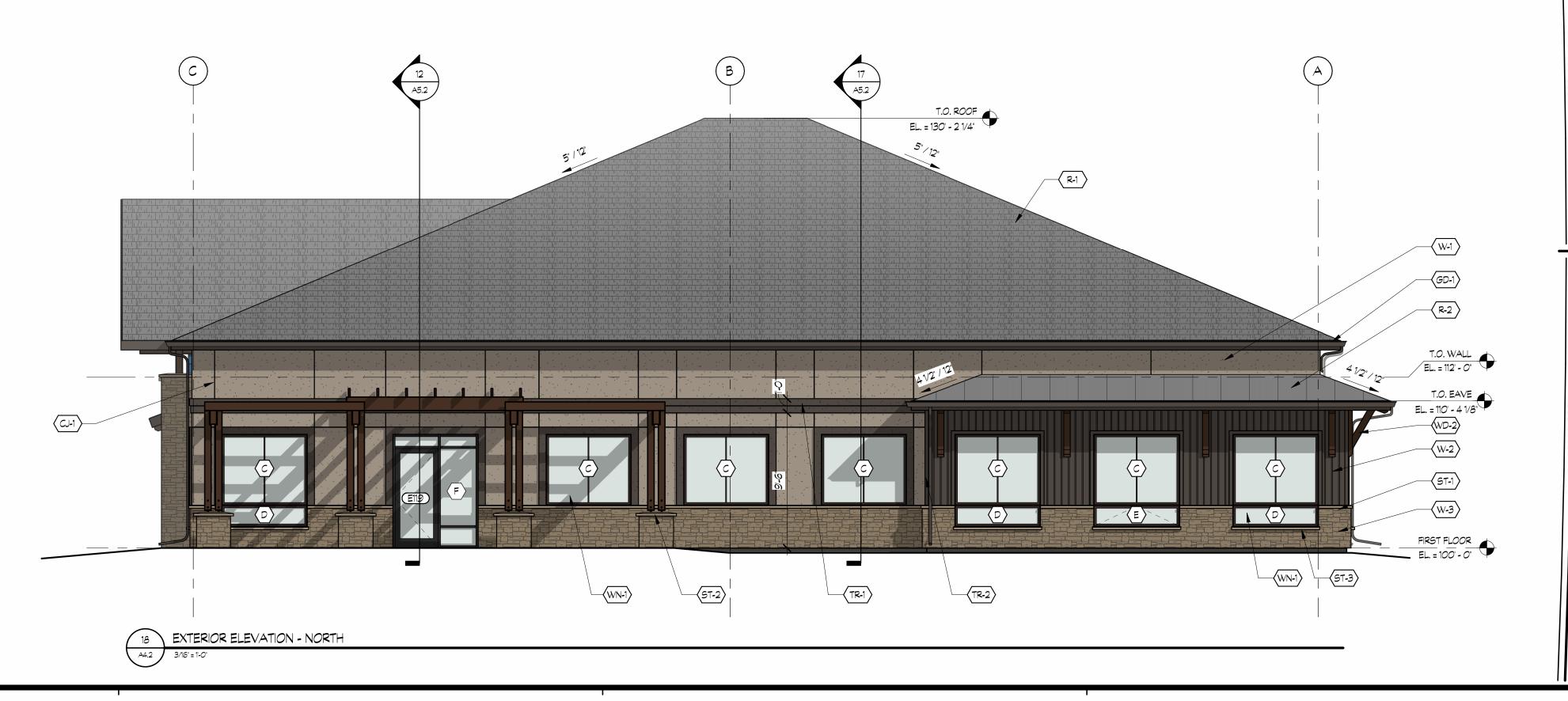


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ST-2	STONE TAPERED WALL CAP	ELDORADO STONE		BUCKSKIN	
ST-3	STONE LINTEL	ELDORADO STONE		BUCKSKIN	
ST-4	STONE HEADER	ELDORADO STONE		BUCKSKIN	
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WN-1	ALUMINUM CLAD WINDOW	KOLBE	ULTRA SERIES	DARK BRONZE	





# 13 EXTERIOR ELEVATION - EAST A4.2 3/16' = 1-0'



# 110 COLLINS ST, EATON, CO 80615

AGFINITY

ARCHITECTS
4487 Highland Meadows Pkwy, Windsor, CO 80550

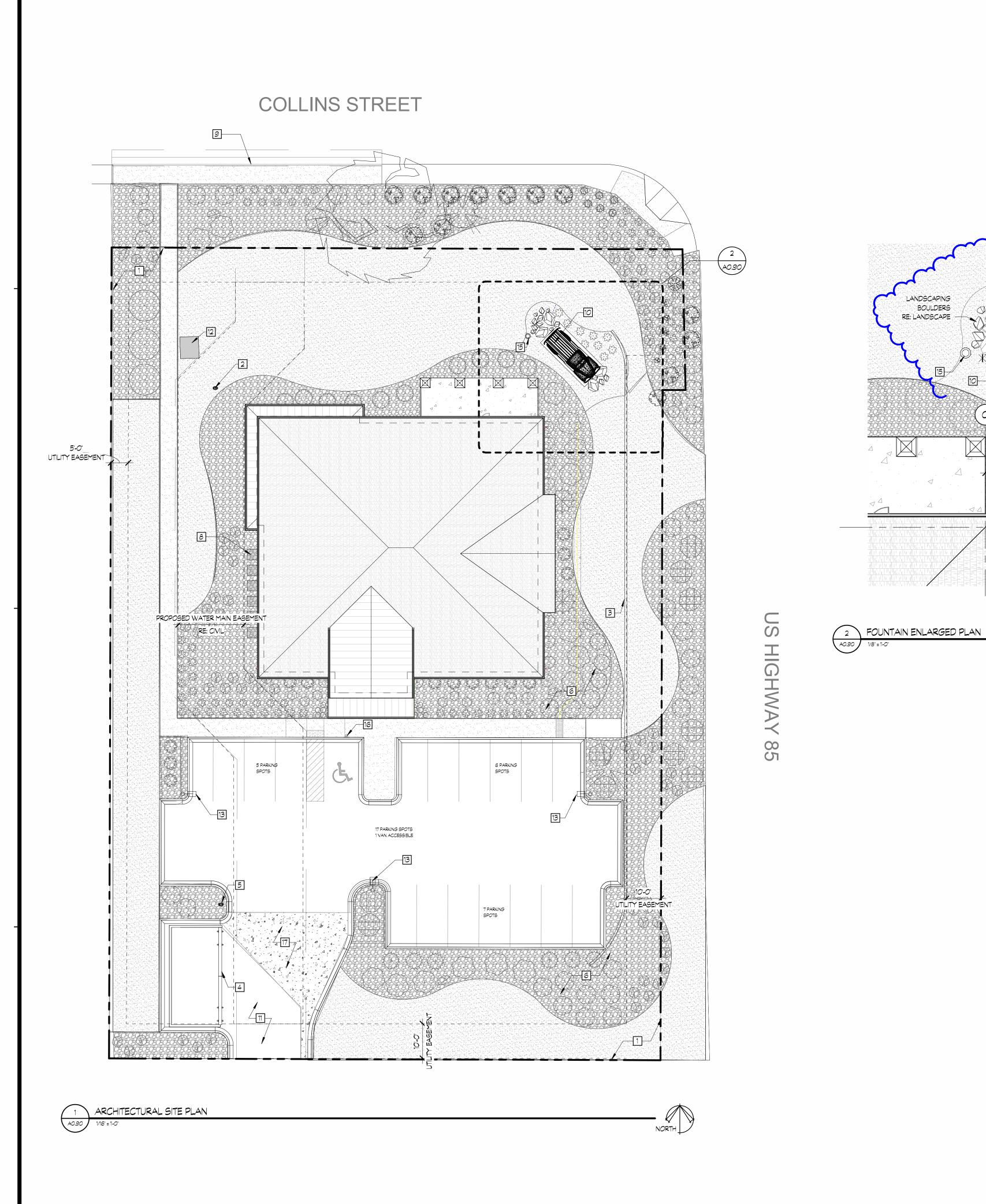
 Revision Number
 Description
 Revision Date

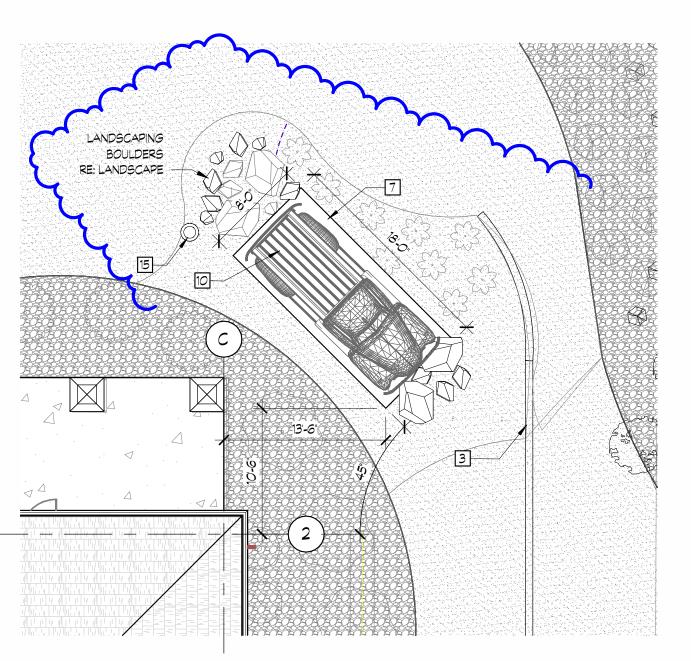
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 Permit Resubmittal
 03/06/2024



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EXTERIOR BUILDING ELEVATIONS









EXISTING VINTAGE TRUCK PHOTO

12" = 1-0"

NORTH X



CONCEPTUAL VINTAGE TRUCK MONUMENT SIGN

# AGFINITY CORPORATE OFF 110 COLLINS ST, EATON, CO 80615

PERMIT SET

Issued For SD:
Issued For DD: 11/22/2023
Issued For Permit: 01/09/2024
Issued For Construction:

Revision
Number Description Date
1 Permit Resubmittal 03/06/2024

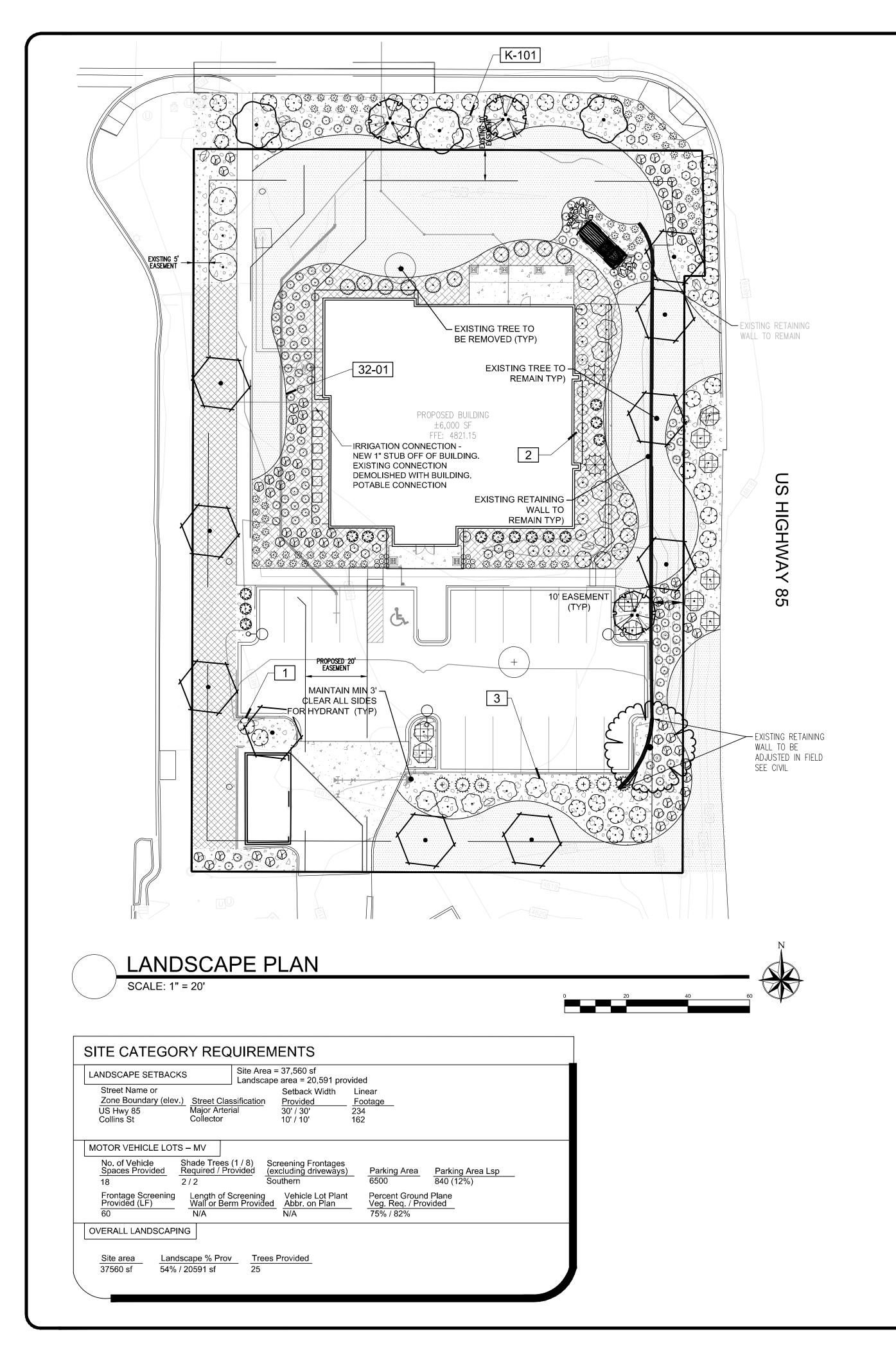


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ARCHITECTURAL SITE PLAN

8



### DI ANT SCHEDI II E OVERALL

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	MATURE SIZ H x W (feet)
TREES	АН	3	ACER TATARICUM `HOT WINGS` / HOT WINGS TATARIAN MAPLE	2" B&B MULTISTEM	20 X 20
$\left(\cdot\right)$	CA	3	CRATAEGUS AMBIGUA / RUSSIAN HAWTHORN	1.5" B&B MULTISTEM	20 X 15
+	EX-REM	2	REMOVE AS INDICATED / EXISTING TREE TO BE REMOVED RECOMMENDATION	EX	
$\bigcirc$	EX-RET	10	TO REMAIN- PROTECT DURING CONSTRUCTION / EXISTING TREE TO REMAIN	EX	
SHADE TRE	<u>ES</u>				
£ . }	СО	1	CELTIS OCCIDENTALIS / COMMON HACKBERRY	2" B&B	50 X 30
SYMBOL	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	SIZE	
HRUBS					
	CD	68	CARYOPTERIS X CLANDONENSIS `DARK KNIGHT` / BLUE MIST SHRUB	5 GAL	3 X 3
£ • 3	CBI	10	CORNUS SERICEA 'IVORY HALO' / RED TWIG DOGWOOD	5 GAL	5 X 5
$(\cdot)$	FM	3	FORESTIERA NEOMEXICANA / NEW MEXICAN PRIVET MULTISTEM	5 GAL	9 X 9
$\circ$	RRF	4	FRANGULA ALNUS 'FINE LINE' / FINE LINE BUCHTHORN	5 GAL	5 X 2.5
	JSMG	2	JUNIPERUS SCOPULORUM 'MOONGLOW' / UPRIGHT JUNIPER	10 GAL	15 X 7
$(\cdot)$	PAL	15	PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE' / DWARF RUSSIAN SAGE	5 GAL	3 X 3
$\widetilde{}$	POD	19	PHYSOCARPUS OPULIFOLIUS `DIABLO` / DIABLO NINEBARK	5 GAL	7 X 7
	POL	14	PHYSOCARPUS OPULIFOLIUS `LITTLE DEVIL` / DWARF PURPLE NINEBARK	5 GAL	4 X 4
18-18-20 JANA 18-18-18-18-18-18-18-18-18-18-18-18-18-1	PS	6	PINUS MUGO 'SLOWMOUND' / SLOWMOUND MUGO PINE	5 GAL	3 X 5
( • )	PF	14	POTENTILLA FRUTICOSA `KATHYRN DYKES' / GOLDFINGER POTENTILLA	5 GAL	3 X 3
$\langle \cdot \rangle$	PBP	39	PRUNUS BESSEYI `PAWNEE BUTTES` / SAND CHERRY	5 GAL	1.5 X 6
	RG	10	RHUS AROMATICA `GRO-LOW` / GRO-LOW FRAGRANT SUMAC	5 GAL	1 X 6
RASSES	BB	76	BOUTELOUA GRACILIS `BLONDE AMBITION` / BLUE GRAMA	1 GAL	2.5 X 3
10000000000000000000000000000000000000	CV	103	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL	4 X 2
(1) (1) (1) (1) (1) (1) (1) (1) (1) (1)	SW	5	SPOROBOLUS WRIGHTII / BIG SACATON	1 GAL	5 X 5
ERENNIAL	<u>S</u>				
$\overline{}$	PPP	16	PENSTEMON PINIFOLIUS / THREADLEAF BEARDTONGUE	4"POT	1.5 X 2
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	
ROUND CO	OVERS EX-RS	2,581 SF	EX LANDSCAPE - SHRUB BED / TO REMAIN ADJUST FOR NEW LAYOUT. REPLACE ANY DEAD/DAMAGED MATERIALS AND PROTECT DURING CONSTRUCTION.	EX	
MULCHES	DM	8,508 SF	ROCK MULCH / RIVER ROCK 1"-2"	MILLOU	
	RM WM	4,547 SF	COLOR PER OWNER APPROVAL. PLACE TO A UNIFORM DEPTH OF 3" SHREDDED WOOD MULCH / WOOD MULCH GORILLA HAIR SHREDDED CEDAR MULCH PLACED AT 3-4" DEPTH. NO WEED BARRIER UNDER WOOD MULCH AREAS	MULCH	
OD/SEED					

PROVIDE NEW IRRIGATION SYSTEM. SYSTEM TO BE DESIGN-BUILD

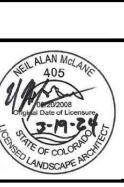
### REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY
1	PLACE SHREDDED CEDAR MULCH AROUND BASE OF ALL PERENNIALS AND GRASSES IN LARGE COBBLE AREAS. MASSED PERENNIALS TO RECEIVE LARGE RING AROUND ENTIRE GROUP (TYP). WOOD MULCH NOT REQUIRED AROUND BASE OF PLANTS LOCATED IN PEA GRAVEL.	
2	MINIMUM 3' ROOTBALL OFFSET FROM BUILDING, TYP.	
3	PLACE PLANTS TO PROVIDE MIN. 2` CLEARANCE FROM BACK OF CURB AT MATURE SPREAD.	
SYMBOL	32 LANDSCAPE IMPROVEMENTS DESCRIPTION	<u>QTY</u>
32-01	14 G ROLL TOP STEEL EDGING, STAKED 30" OC MAX.	780 LF
SYMBOL	ROCK DESCRIPTION	QTY

GRANITE/SANDSTONE BOULDER--DECORATIVE. 1 TON AVG SIZE 18







AGFINITY

PROJ. NO.:

DATE: 11.21.23 SCALE: See Sheet CHKD BY: NAM SHEET 9 of 12

(Note: All references to "Contractor" are specific to "Landscape Contractor" unless notified as "General or other type of Contractor")

- CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF MATERIALS NEEDED TO COMPLETE THIS PLAN IN THE FIELD. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND CONDITIONS IN THE FIELD. SUBSTITUTIONS OF PLANT MATERIAL ARE NOT ALLOWED WITHOUT APPROVAL FROM LANDSCAPE ARCHITECT GIVEN PRIOR TO INSTALLATION. GRAPHIC QTY'S. PREVAIL OVER WRITTEN QTY'S. PRIOR TO COMMENCEMENT OF WORK THE LANDSCAPE CONTRACTOR SHALL CONTACT OWNERS REPRESENTATIVE FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING AND SCOPE OF WORK.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEFICIENCIES OR DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. ANY CHANGES FROM THE APPROVED PLANS MAY REQUIRE APPROVAL FROM THE CITY OR COUNTY PLANNING DEPARTMENTS. LANDSCAPE CONTRACTOR TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO FURNISH SCOPE OF WORK AS SHOWN PER PLAN.
- 3. EXISTING TOPSOIL IS TO BE STOCKPILED AND USED TO ESTABLISH FINAL GRADES WITHIN LANDSCAPE AREAS. ALL STOCKPILED SOIL MUST BE CLEAR OF WEEDS, ROCKS AND DEBRIS BEFORE REUSE. ALL BERMED PLANTING BEDS TO BE CREATED WITH IMPORTED TOPSOIL.
- GENERAL CONTRACTOR TO RE-SPREAD STOCKPILED SOIL AND ESTABLISH ROUGH GRADE CONDITIONS TO THE FOLLOWING SPECIFICATIONS:
- A. 1" BELOW CURB FOR ALL SEEDED AREAS. B. 2.5" BELOW CURB FOR ALL SODDED AREAS.
- C. 4" BELOW CURB FOR ALL PLANTING, ROCK AND MULCH BEDS. CONTRACTOR TO TILL PARKING LOT ISLANDS TO A DEPTH OF 30".
- AMEND ALL PLANTING BEDS WITH CLASS 1 COMPOST. APPLY AT RATE OF 3 CYDS. PER 1000 SQUARE FEET TO ALL PLANTING BEDS AND MANICURED LAWN AREAS, AND 2 CYDS. PER 1000 SQUARE FEET FOR SEEDED AREAS. TILL, MIXING THOROUGHLY, INTO THE UPPER 8" OF SOIL.
- FINE GRADE TO BE ESTABLISHED BY LANDSCAPE CONTRACTOR. FINE GRADE SHALL BE FREE OF ROCKS AND DEBRIS. FINE GRADE IN SEED AREAS SHALL BE FREE FROM ROCKS AND DEBRIS ½" AND GREATER. FINE GRADE IN SODDED AREAS SHALL BE FREE FROM ROCKS AND DEBRIS 1/4"AND GREATER. CONTRACTOR TO REPORT ANY POOR DRAINAGE CONDITIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR IS TO PROVIDE VERIFICATION THAT ALL SOD AND SEED IS OF THE SPECIES SHOWN ON THIS PLAN. NO SUBSTITUTIONS WILL BE ALLOWED. SOD TO BE LAID WITH TIGHT STAGGERED EDGES AND BE ROLLED AFTER INSTALLATION. SEEDED AREAS CANNOT BE SUBSTITUTED WITH SOD.
- 9. MULCHS: ALL PLANTING BEDS THAT CALL FOR WOOD MULCH TO RECEIVE 4" ORGANIC SHREDDED BARK MULCH. SHREDDED MULCH IS TO BE OF FIBROUS MATERIAL, NOT CHIPS OR CHUNKS. NO FABRIC IS TO BE PLACED UNDER WOOD/ORGANIC MULCH. ALL MULCHED BEDS ARE TO BE SPRAYED WITH WATER AFTER INSTALLATION TO HELP MULCH TO MAT

ALL AREAS THAT CALL FOR COBBLE/ROCK MULCH TO RECEIVE MIN. 3" DEPTH, UNLESS NOTED OTHERWISE.

2 PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.

FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.

3. DO NOT REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNERS REPRESENTATIVE.

7. PINE AND SPRUCE TREES TO BE SPRAYED FOR IPS BARK BEETLE PRIOR TO PLANTING. COORDINATE WITH

6. MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE

TREES IN COBBLE/ROCK MULCH, SOD AND SEEDED AREAS TO RECEIVE 4' DIAMETER OF WOOD MULCH RING, 3" DEEP, SHRUBS AND GROUNDCOVERS IN COBBLE/ROCK MULCH SOD AND SEEDED AREAS TO RECEIVE A WOOD MULCH RING AT 2X DIAMETER OF ROOT BALL, 3" DEPTH. NO FABRIC UNDERLAYMENT IN WOOD MULCH RINGS.

- 10. SEED MIX INSTALLATION: CONTRACTOR TO DRILL SEED WITH BRILLION TYPE APPLICATOR AND APPLY 'SOIL GUARD' BONDED FIBER MATRIX (BFM), WHERE INDICATED PER PLAN AND SCHEDULES. APPLY SEED IN TWO DIRECTIONS (PERPENDICULAR OF THE OTHER) ADD SOIL GUARD BFM FOR DRILL SEEDING WHERE NOTED PER PLAN AND ON ALL SLOPES 5:1 TO 3:1. FOR AREAS WITH 3:1 SLOPES OR GREATER CONTRACTOR TO USE SOIL GUARD APPLICATION ONLY (IN LIEU OF HYDROMULCH) CONTRACTOR TO SPOT SEED NON-GERMINATING AREAS (3) MONTHS AFTER INITIAL SEED APPLICATION. CONTRACTOR TO RE-SEED ALL BARE AREAS (6"x6") AND GREATER AFTER (6) MONTHS FROM SEED GERMINATION OR AT THE BEGINNING OF THE FOLLOWING GROWING SEASON. PRIOR TO THE 11-MONTH WARRANTY INSPECTION RE-APPLY SOIL GUARD AND SEED MIX TO ALL BARE AREAS (6"x6" OR GREATER) AND TO ALL BARE AREAS (4"x4" OR GREATER) ON ALL SLOPES 3:1 AND GREATER.
- 11. REMOVED DEAD TWIGS AND BRANCHES FROM ALL NEW AND EXISTING PLANT MATERIAL IN A MANNER THAT DOES NOT CHANGE THE NATURAL HABIT OF THE PLANT MATERIAL. SCARES OF 1" OR MORE SHALL BE PAINTED WITH ORGANIC TREE PAINT. CENTRAL LEADERS SHALL NOT BE REMOVED AT ANY TIME. NEWLY PLANTED TREES WITHOUT CENTRAL LEADERS WILL BE REJECTED.
- 12. CONTRACTOR TO APPLY FERTILIZER IN SPRING & LATE SEPTEMBER. WATER THOROUGHLY AFTER APPLICATION OF FERTILIZERS.
  - ALL SEEDED AND SODDED AREAS TO HAVE RECOMMEND FERTILIZER APPLICATIONS ADDED ONCE IN MID TO LATE JUNE AND ONCE IN LATE SEPTEMBER. WATER THOROUGHLY AFTER APPLICATION OF FERTILIZERS.
- 13. ALL PLANT MATERIALS AND UTILITIES ARE SHOWN AT AN APPROXIMATE LOCATIONS. THE CONTRACTOR MAY NEED TO ADJUST LOCATIONS OF PLANT MATERIAL TO ADHERE TO SPECIFIC ON-SITE CONDITIONS AND CODE REQUIREMENTS. ALL TREES AND SHRUBS TO BE PLACES AT 2' MINIMUM BACK OF CURB. CONTRACTOR TO CALL FOR UTILITY LOCATES BEFORE PLANTING (TYP.) 1-800-922-1987, OR CALL 811 BEFORE YOU DIG!
- STEEL EDGING TO BE USED TO SEPARATE ALL TURF AND/OR SEEDED AREAS FROM PLANTING BEDS. USE PERFORATED EDGING SEGMENTS TO OBTAIN POSITIVE DRAINAGE FOR ALL DRAINAGE SWALES OR AREAS OF
- 15. CONTRACTOR TO PROVIDE COBBLE & UNDERLAYMENT FOR BUILDING DRAINS AND SWALES THROUGH LANDSCAPED AREAS.
- 16. ALL REQUIRED LANDSCAPING TO BE INSTALLED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- 17. ALL NURSERY STOCK TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI z60.1) AND THE COLORADO NURSERY ACT.
- 18. CONTRACTOR IS RESPONSIBLE FOR CONTACTING LANDSCAPE ARCHITECT FOR ALL REQUIRED INSPECTIONS. PROVIDE AT LEAST 48 HOURS NOTICE TO SCHEDULE AN INSPECTION. REQUIRED INSPECTIONS INCLUDE A LANDSCAPE LAYOUT AND PLANT MATERIAL VERIFICATION AND PLACEMENT INSPECTION, IRRIGATION MAIN LINE INSPECTION, LANDSCAPE AND IRRIGATION PUNCH LIST INSPECTION, AND A LANDSCAPE AND IRRIGATION FINAL INSPECTION.

SEASONS

4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.

9. DEEP WATER ALL PLANTS AT TIME OF PLANTING.

5. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.

AMENDED BACKFILL SHALL BE AS STATED ON THIS SHEET.

19. CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIAL. TURF. IRRIGATION COMPONENTS. AND WORKMANSHIP. REPLACEMENT PLANT MATERIALS SHALL BE OF THE SAME SPECIES AND SIZE AS THE DECAYED OR DEAD PLANT MATERIAL. WARRANTY IS VOID IF PLANT MATERIAL ARE UNDER OR OVER-WATERED/FERTILIZED, DAMAGED BY VANDALISM OR NEGLECTED BY OWNER AFTER FINAL MAINTENANCE PERIOD AND FINAL ACCEPTANCE IS PROVIDED.

REMOVE ALL TREE STAKING MATERIALS AT END OF WARRANTY, PRIOR TO FINAL ACCEPTANCE

20. MAINTENANCE: THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION MAINTENANCE OF THIS SITE AND ANY RIGHT OF WAY AREAS BETWEEN THE CURB AND PROPERTY LINES OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZATION, WOOD MULCH AND ROCK COVER REPLACEMENT, PRUNING, AND PLANT MATERIAL REPLACEMENT (INCLUDING ANNUAL BEDS). ALL MAINTENANCE SHOULD BE IN ACCORDANCE WITH STANDARDS SPECIFIED WITHIN THE "ALCC SPECIFICATIONS HANDBOOK" REVISED EDITION- 1996. OWNER SHOULD CONTACT LANDSCAPE CONTRACTOR OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION MAINTENANCE OF THIS SITE.

EXISTING TREES DESIGNATED ON PLANS AS "TO REMAIN", OR MARKED FOR PROTECTION AND PRESERVATION IN THE FIELD. SHALL NOT BE REMOVED OR DAMAGED.

NO GRADING TO OCCUR WITHIN THE CRITICAL ROOT ZONE / DRIP LINE OF EXISTING TREES. ALL GRADING AROUND EXISTING TREES TO REMAIN SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.

PRIOR TO CONSTRUCTION, ALL PROTECTED TREES SHALL HAVE ORANGE PROTECTION BARRIER FENCING ERECTED AT A HEIGHT OF 3' OR GREATER. FENCING TO BE SUPPORTED BY STURDY STOCK, CAPABLE OF SUPPORTING FENCING UNTIL ALL CONSTRUCTION OPERATIONS ARE COMPLETED. PLACE NO CLOSER THAN 6' FROM TRUNK, OR ONE HALF (2) OF THE DRIP LINE, WHICHEVER IS GREATER. WITHIN THE PROTECTED ZONE THERE SHALL BE NO MOVEMENT OF EQUIPMENT OR STORAGE OF EQUIPMENT, MATERIALS, WAIST, DEBRIS, OR FILL, UNLESS APPROVED BY THE LANDSCAPE ARCHITECT.

AVOID CUTTING SURFACE ROOTS WHEREVER POSSIBLE. SIDEWALKS AND PAVING LEVELS SHOULD BE CONTOURED SUFFICIENTLY TO AVOID SUCH. ROOT CUTS FROM EXCAVATION SHOULD BE DONE RAPIDLY. SMOOTHE FLUSH CUTS SHOULD BE MADE. BACKFILL BEFORE ROOTS HAVE A CHANCE TO DRY OUT, AND THOROUGHLY WATER THE TREE IMMEDIATELY.

### **IRRIGATION NOTES**

ANY LAWN AREAS TO BE IRRIGATED WITH AN AUTOMATIC POP-UP SPRINKLER SYSTEM. ALL SHRUBS BEDS TO BE IRRIGATED WITH AUTOMATIC DRIP IRRIGATION SYSTEM. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE NEEDS OF INDIVIDUAL PLANT MATERIAL

IRRIGATION SYSTEM TO BE ADJUSTED AS NEEDED FOR PLANT ESTABLISHMENT FOR A PERIOD OF AT LEAST ONE (1) YEAR.

ADJUSTMENTS TO BE MADE AFTER ESTABLISHMENT BASED ON SPECIFIC PLANT REQUIREMENTS. SEE SUGGESTED RUN TIMES PROVIDED WITHIN THESE PLANS

DESIGN OF IRRIGATION SYSTEMS TO MEET OR EXCEED LOCAL REQUIREMENTS AND INDUSTRY STANDARDS. CONSTRUCTION DOCUMENTS SUITABLE FOR DEVELOPMENT COORDINATION TO BE PROVIDED.

IRRIGATION SYSTEM TO BE DESIGNED USING APPROPRIATE COMPONENTS FOR PLANT MATERIAL, AND WILL INCLUDE A SMART ET CONTROLLER AND RAIN

ALL NATIVE SEED AREAS TO BE TEMPORARILY IRRIGATED.

### **EXISTING TREE PROTECTION DIRECTIONS:**

### PROTECTIVE FENCING:

FOUR FEET HEIGHT PROTECTIVE FENCING IS TO BE INSTALLED AROUND THE EXISTING TREES TO REMAIN PRIOR TO CONSTRUCTION ON THIS SITE. CONTRACTOR IS TO TAKE PRECAUTIONS TO ENSURE THAT EXISTING ROOTS AND LIMBS ARE NOT DAMAGED DURING EXCAVATION ADJACENT TO TREES, FENCING IS TO BE INSTALLED BELOW THE EDGE OF THE CANOPY OF THE EXISTING TREES TO REMAIN. FENCING IS TO REMAIN IN PLACE FOR THE DURATION OF CONSTRUCTION.

IF ROOT PRUNING IS NECESSARY FOR GRADING, EXCAVATING, OR INSTALLATION OF IRRIGATION SYSTEM, ALL ROOT PRUNING IS TO TAKE PLACE OUTSIDE OF THE PROTECTIVE FENCING AROUND EACH TREE. CONTRACTOR IS TO TRENCH 12" AWAY FROM PROTECTIVE FENCING. ANY ROOTS LARGER THAN 2" ARE TO BE SAW CUT. CONTRACTOR IS TO HAND DIG ANY TRENCHES AND SAW CUT ANY INTERFERING ROOTS INSIDE THE PROTECTIVE FENCE AREAS.

### WATERING, MULCHING, AND FERTILIZATION:

PRIOR TO CONSTRUCTION CONTRACTOR IS TO PLACE A 4" DEPTH OF WOOD CHIPS OR MULCH INSIDE THE PROTECTIVE FENCING OF EXISTING TREES TO REMAIN. CONTRACTOR IS TO PROVIDE REGULAR DEEP WATERING TO ALL EXISTING TREES TO REMAIN THROUGHOUT CONSTRUCTION. DURING CONSTRUCTION A SLOW-RELEASE NITROGREN FERTILIZER IS TO BE APPLIED AROUND THE BASE OF EACH TREE AT A RATE OF 2 LBS. PER 1000 S.F. (USE DRIP LINE OF TREE TO CALCULATE SQUARE FOOTAGE).

### - EXISTING VEGETATION (all ex. vegetation to remain unless noted to be removed) CLEAR OF DEBRIS AND - CONSTRUCTION FENCING WOOD LATH ALL PRUNING AND/OR ROOT DISTURBANCE TO BE SUPERVISED AND/OR PERFORMED BY A SERVICE LICENSED BY THE CITY FORESTER. -CRZ - CRITICAL ROOT ZONE NO DISTURBANCE IN CRZ

Use trees spade to relocate trees. Preserve the rootball and existing roots. Deep water for three months, provide drip irrigation thereafter.

4. AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3

5. ALL PERENNIALS PLANTED IN ROCK MULCH AREAS TO HAVE ORGANIC MULCH RINGS

SHREDDED REDWOOD / CEDAR / GORILLA

HAIR MULCH ONLY

1. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.

NATIVE AND/OR IMPORTED TOPSOIL.

AROUND THE BASE OF THE PLANT.

3. PRUNE ALL DEAD OR BROKEN PARTS PRIOR TO PLANTING.

2. PLANT GROUND COVERS AND PERENNIALS LEVEL AND AT GRADE.

PLACE AS PER PLANS

## L2.0

### EXISTING TREE PROTECTION DETAIL

## REMOVE TWINE FROM BRANCHES ON TREES TIED UP FOR SHIPPING. SPRAY WITH WILT PRUF OR EQUAL (IF LEAFED OUT). ORANGE FLUORESCENT FLAGGING ON WIRE FOR SAFETY. SET TREE VERTICAL, STAKE UP TO 3" CALIPER TREES WITH TWO POSTS ON THE LEEWARD AND WINDWARD SIDES; STAKE TREES OVER 3" CALIPER WITH 3 EVENLY SPACED POSTS. USE NYLON STRAP WITH GROMMETS BELOW MIDPOINT OF TREE. TIGHTEN #10 GUY WIRE BY TWISTING. PROTECT BRANCHES FROM TOUCHING WIRE. ALLOW A SLIGHT SAG FOR SWAY. PROVIDE FLAGGING TAPE WITH MINIMUM 6" DANGLING. SET STAKES IN MINIMUM 18" FIRM SOIL. REMOVE STAKES WITHIN 12-18 MONTHS OF PLANTING. TRUNK FLARE MUST BE VISIBLE AT TOP OF ROOTBALL. POSITION ROOT FLARE AT GRADE. SHREDDED REDWOOD / CEDAR / GORILLA HAIR MULCH ONLY 3-4" DEPTH OF SPECIFIED WOOD MULCH. PROVIDE A 6' DIAMETER WOOD MULCH RING AND 6" PLANTING RIM FOR TREES IN DRYLAND PLANTING BEDS AND IN IRRIGATED NATIVE SEED AREAS WHERE IRRIGATION ZONES ARE TO BE SHUT DOWN AFTER ESTABLISHMENT. PROVIDE SAUCER ON DOWNHILL SIDE ON SLOPES. KEEP MULCH AWAY FROM CONTACT WITH WOODY TRUNK. DO NOT PLACE FABRIC UNDER MULCH. NO RIM FOR TREES LOCATED IN TURF AREAS. SCARIFY SIDES OF PLANTING PIT. BACKFILL WITH AMENDED SOIL MIX. ROOTBALL SHALL REST ON FIRM, UNDISTURBED SOIL. AFTER TREE IS POSITIONED, REMOVE ALL TWINE, ROPE, PLASTIC, WIRE, BURLAP, AND RUBBER.

1. MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE

2. AT TIME OF PLANTING, DO NOT REMOVE OR CUT LEADER AND PRUNE ONLY DEAD OR BROKEN BRANCHES, CROSS

OVER BRANCHES, AND WEAK OR NARROW CROTCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE

PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE

3. STRUCTURAL PRUNING SHOULD NOT BEGIN UNTIL AFTER ESTABLISHMENT PERIOD, USUALLY TWO GROWING

. WRAP TRUNK ON EXPOSED SITES AND SPECIES WITH THIN BARK. USE ELECTRICAL OR DUCT TAPE, NOT TWINE.

8. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.

SET SHRUBS VERTICAL. SHRUB SPACING AS PER PLANS LAYOUT VARIES. FINISHED GRADE OF SHRUB BED TO BE 2" BELOW ADJACENT FINISH GRADE AT EDGE TO HOLD PLANT TOP OF ROOTBALL AT GRADE. SHREDDED REDWOOD / CEDAR / GORILLA HAIR MULCH ONLY 3-4" SPECIFIED ORGANIC MULCH. PROVIDE 6" PLANTING RIM FOR SHRUBS NOT IN PLANTING BED. PROVIDE SAUCER ON DOWNHILL SIDE ON SLOPES. NO PLANTING RIM FOR SHRUBS IN PLANTING BED. KEEP MULCH AWAY FROM CONTACT WITH WOODY TRUNK. SCARIFY SIDES OF PLANTING PIT. BACKFILL WITH AMENDED SOIL MIX. ROOTBALL SHALL REST ON FIRM, UNDISTURBED SOIL. REMOVE ALL PACKAGING MATERIAL. FOR POT BOUND PLANTS ONLY: MAKE 4-5 VERTICAL CUTS IN ROOTBALL 1" DEEP. PLANT IMMEDIATELY FOR ROOT BIND AT BOTTOM OF BALL: SPLIT ROOTBALL VERTICALLY FROM BOTTOM HALFWAY TO TOP. SPREAD THE TWO HALVES OVER A MOUND OF SOIL IN THE PLANTING HOLE.

SHRUB PLANTING DETAIL

PERENNIAL/GROUNDCOVER PLANTING DETAIL NOT TO SCALE

(1)

> PROJ. NO.: DATE: 11.21.23

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SCALE: See Sheet DRAWN: JRO CHKD BY: NAM SHEET 10 of 12

**EVERGREEN TREE PLANTING DETAIL** NOT TO SCALE

→ MIN. 2X ROOTBALL
–

1. DO NOT REMOVE OR CUT LEADER

WHENEVER POSSIBLE.

CITY FORESTRY

4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.

5. AMENDED BACKFILL SHALL BE AS STATED ON THIS SHEET.

8. ALL TREES TO BE DEEP WATERED AT TIME OF PLANTING.

TRUNK FLARE MUST BE VISIBLE AT TOP OF ROOTBALL POSITION ROOT FLARE AT GRADE.

ORANGE FLUORESCENT FLAGGING ON WIRE FOR SAFETY.

— SET TREE VERTICAL, STAKE TREES SMALLER THAN 6'
WITH TWO POSTS ON THE LEEWARD AND WINDWARD
SIDES; STAKE TREES 6' HEIGHT AND GREATER WITH 3 METAL
ANGLE IRONS, PLACED 120 DEGREES APART. USE NYLON
STRAP WITH GROMMETS BELOW MIDPOINT OF TREE.
TIGHTEN #10 GUY WIRE BY TWISTING. PROTECT BRANCHES
FROM TOUCHING WIRE. ALLOW A SLIGHT SAG FOR SWAY.
PROVIDE FLAGGING FOR VISIBILITY. SET STAKES IN
MINIMUM 18" FIRM SOIL. REMOVE STAKES WITHIN 12-18
MONTHS OF PLANTING.

SHREDDED REDWOOD / CEDAR / GORILLA HAIR MULCH ONLY

AFTER TREE IS POSITIONED, REMOVE ALL TWINE, ROPE, PLASTIC, WIRE, BURLAP, AND RUBBER.

SCARIFY SIDES OF PLANTING PIT. BACKFILL WITH AMENDED SOIL MIX. ROOTBALL SHALL REST ON FIRM, UNDISTURBED SOIL

PROVIDE A 6' DIAMETER WOOD MULCH RING WITH A 6" PLANTING RIM FOR TREES IN DRYLAND PLANTING BEDS AND IN IRRIGATED NATIVE SEED AREAS WHERE IRRIGATION ZONES ARE TO BE SHUT DOWN AFTER ESTABLISHMENT. PROVIDE 6" RIM ON DOWNHILL SIDE ON SLOPES. NO RIM FOR TREES IN IRRIGATED TURF AREAS.

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DECIDUOUS TREE PLANTING DETAIL

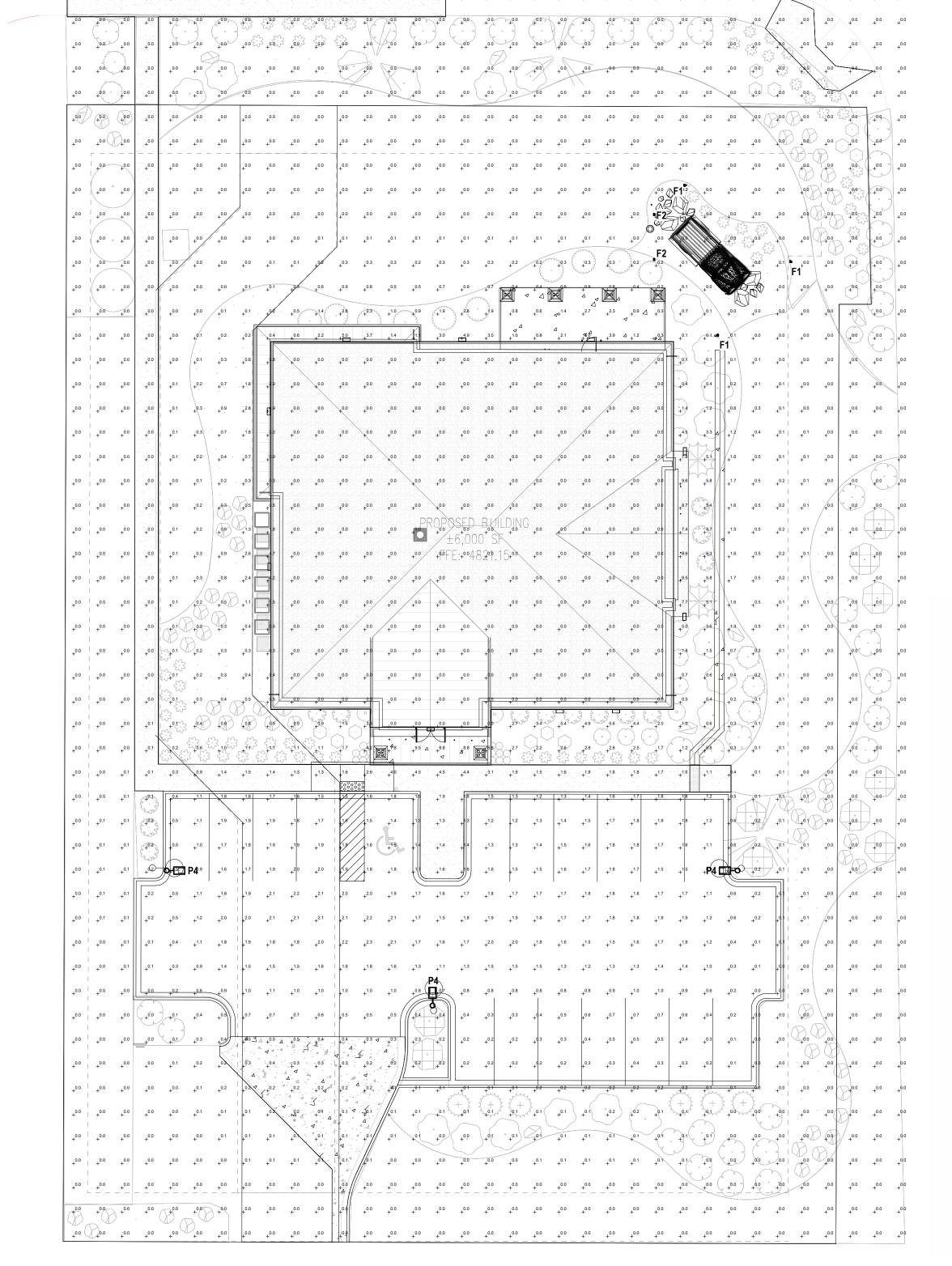
MIN. 2X ROOTBALL

SECTION

SECTION

	CALCULATION SUMMARY (NONRESIDENTIAL)								
ZONE	AREA DESCRIPTION	SPACING	GROUP	AVERAGE	MAX	MIN	MAX/MIN	AVG/MIN	
1	CALCULATION SURFACE 2	5'		0.40	9.80	0	0	0	

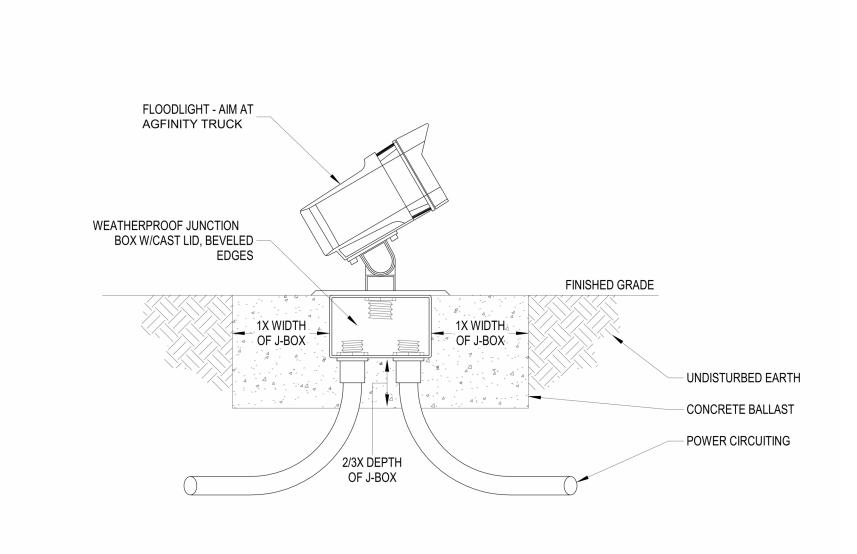
### **COLLINS STREET**



FIXTURE	DESCRIPTION	MAN	IUFACTURER INFORMATION	MOUNTING	LAMP	WATTAGE	VOLTAGE	NOTES
DESIGNATION	DESCRIPTION	NAME	CATALOG NUMBER	MOUNTING	LAIVIP			NOTE
AA	EXTERIOR WALL SCONCE, 3500K, 1669 LUMENS, DARK BRONZE.	SPI LIGHTING	AEW10506 L29W PT32 120-277V 3500K DF_ 80	SURFACE	LED	29	120	
AAE	EXTERIOR WALL SCONCE. 3500K. 1669 LUMENS. EMERGENCY BATTERY, DARK BRONZE.	SPI LIGHTING	AEW10506 L29W PT32 120-277V 3500K DF_ 80 EMR-W/L	SURFACE	LED	29	120	
BB	FLUE LED SCONCE, 3000K, 90CRI, 900 LUMENS.	SONNEMAN	7480.72-WL	SURFACE	LED	9	120	
RD3	EXTERIOR RATED RECESSED 4" DIAMETER DOWNLIGHT, LED, 3500K TEMP, 90CRI, 1000 LUMENS.	LITELINE	RA4-12G-30K-C-90	RECESSED	LED	12	120	A
F1	ARCHITECTURAL FLOOD, 70 DEGREE DISTRIBUTION, 3000K, 80CRI, 45 DEGREE ANGLE CUT CAP	HYDREL	SAF1 LED P1 80CRI 30K MVOLT 70DEG CWL KM BL C3	KNUCKLE	LED	8	120	А
F2	ARCHITECTURAL FLOOD, 30 DEGREE DISTRIBUTION, 3000K, 80CRI, SHORT FLUSH CAP.	HYDREL	SAF1 LED P1 80CRI 30K MVOLT 30DEG CWL KM BL C1	KNUCKLE	LED	6	120	А
P4	POLE MOUNTED STREET LAMP, 6000L, TYPE 4, 5967 LUMENS.	LSI	MRS-LED-6L-SIL-4-UNV-DIM-30-70CRI-BLK	POLE MOUNTED	LED	39	120	
P5 POLE	STREET LAMP POLE	LSI	4SQ B3 S11G17 S BLK	POLE	N/A	N/A	N/A	

LIGHT FIXTURE(S) - PER PLANS/SCHEDULE - ANCHOR BASE POLE - PER PLANS/SCHEDULE REINFORCED HANDHOLE W/GROUNDING PROVISION - GROUND LUG TWO-PIECE FULL BASE COVER BASE PLATE AND ANCHOR BOLTS BY POLE MANUFACTURER CONCRETE POLE BASE. REFERENCE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL

REQUIREMENTS. SHOWN HERE FOR
ELECTRICAL AND GENERAL ARRANGEMENT INFORMATION ONLY FINISH GRADE LINE VOLTAGE RACEWAY LOW-VOLTAGE RACEWAY (WHERE APPLICABLE) - 20'-0" #4 CU BARE COPPER PANCAKE COIL



SITE PHOTOMETRIC PLAN

DIAGRAM - POLE BASE

DIAGRAM - FLOOD LIGHT GRADE MOUNTED NOT TO SCALE

4487 Highland Meadows Pkwy, Windsor, CO 80550 5000 GOODMAN ST. **UNIT 100** TIMNATH, CO 80547 (970) 460-7400 G2CE.COM Project # 2023124

CORPORATE

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TOMETRIC PLAN PHO

### Oakley Exterior

AEW10506 12.00 in

JOB NAME: TYPE: NOTES:



EMR WET

### **DESCRIPTION**

This simple but elegant sconce can either be used as a decorative element or be painted to disappear in the space. The fixture is designed to fit any application where elegance is important. Choose from a palette of painted finishes.

### FEATURES & BENEFITS

- Premium 95% reflective aluminum is utilized in the highlyefficient and effective reflector design
- External fasteners are not visible, providing a clean fixture
- Handcrafted in USA

### **SPECIFICATIONS**

- LIGHT SOURCE: IP66 white LED light engine
- CRI: 80+ or 90+ • LUMEN MAINTENANCE: L70 = >50,000 Hrs.
- CCT: 2700K, 3000K, 3500K, 4000K, 5000K
- DRIVER: Integral Class 2 power supply standard
- **DIMMING:** 0-10V controls standard to 1% on LED light engines • CONTROLS: Contact factory for control options (e.g., Lutron Athena, Current NX, nLight, Enlighted, Encelium, Wattstopper,
- WaveLinx, or Casambi) • **EMERGENCY:** Remote battery option is provided with 10W Constant Power Battery back-up, providing 90 Minutes of Emergency operation. Contact factory for other Emergency
- CONSTRUCTION: Formed metal construction provides durable protection for internal components and is recyclable
- FINISH: Choose from 26 standard thermoset polyester powder coat paint colors. RAL®, Pantone®, or custom finishes available upon request.
- MOUNTING: Mounts to standard 4" octagonal junction box
- MODIFICATIONS: Consult factory for all modification requests
- APPROVALS: ETL listed to UL standards (US and Canada) for use in wet locations

SPILIGHTING

Power Supply Quantity:

Power Supply Location:

**Available Color** 

Available Color Temperatures: 3000k

Temperatures

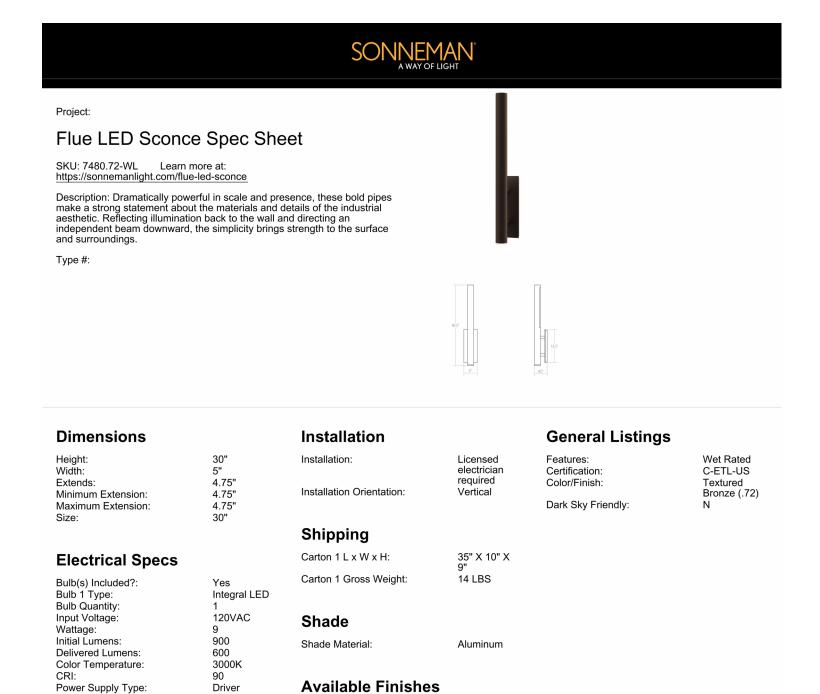
Dimming Type:

Outlet Box

TRIAC/ELV

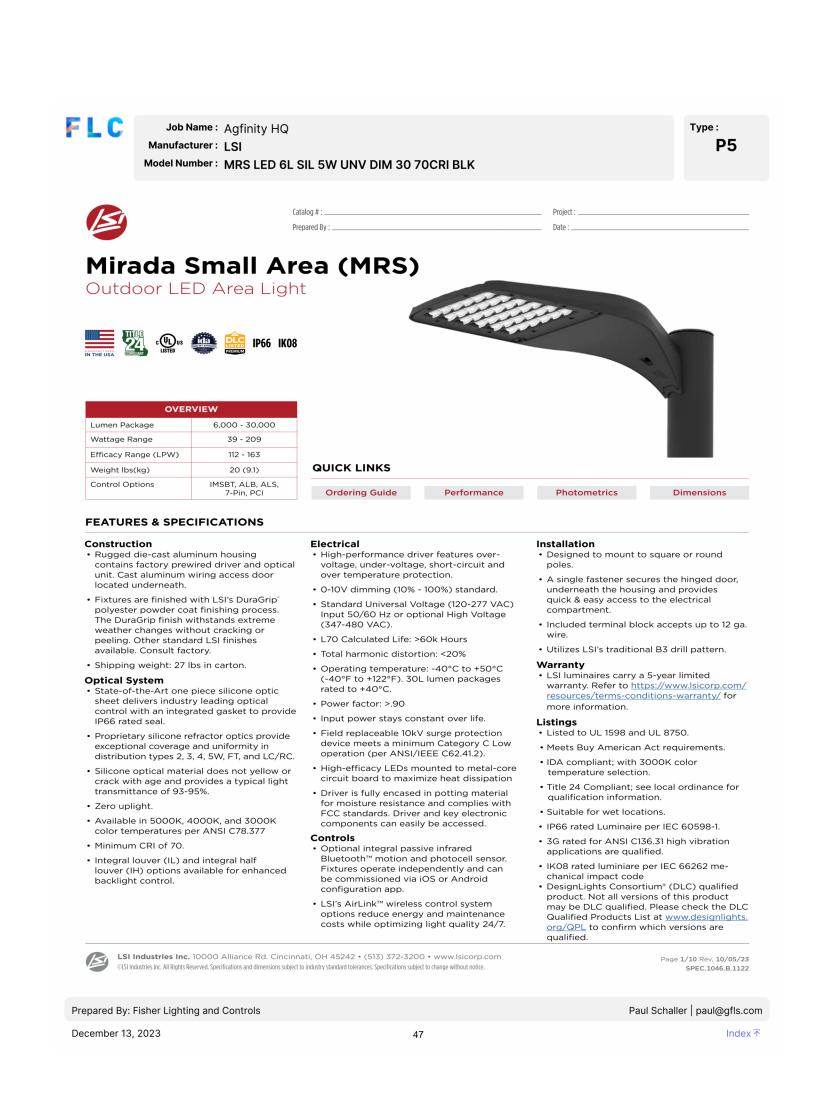
options.

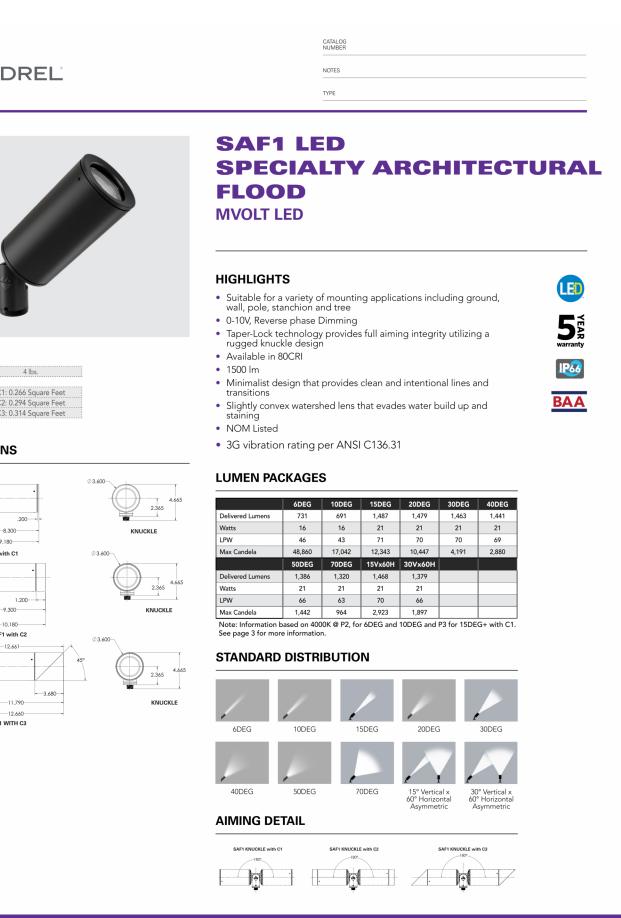
P:262.242.1420 | SPIteam@spilighting.com | Last Revised: 12/13/2023 | Design Rights Reserved | AEW10506 | 1 of 4



Textured Bronze (.72), Textured Gray (.74), Textured White (.98)









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