

AGFINITY CORPORATE OFFICE SITE DEVELOPMENT PLAN

110 COLLINS ST

LOT 1, BLOCK 1 MAPLEWOOD ESTATES FIRST REPLAT

LOCATED IN PART OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 6 NORTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF EATON, COUNTY OF WELD, STATE OF COLORADO

PROPERTY OWNER CERTIFICATION:

By signing this Site Plan AGFINITY INC. as owner or assignee of the land for which this plan has been created, accepts all of the requirements and conditions set forth herein.

(Chose the Corporate or individual ownership block based on owner type for property)

OWNER:

Agfinity Inc.
Name of Corporation

By: Daniel W. Riddle
Name of Signatory

Title: CEO

Signature: Daniel W. Riddle
Date: 3/21/24

ATTEST:

Ashley Johnson
Secretary or Treasurer

Signature: Ashley Johnson

EATON PLANNING DEPARTMENT:

This Site Plan was reviewed and approved by the Town Administrator.

This 21st day of March, 2024.
Wesley LaVanchy
Town of Eaton Administrator

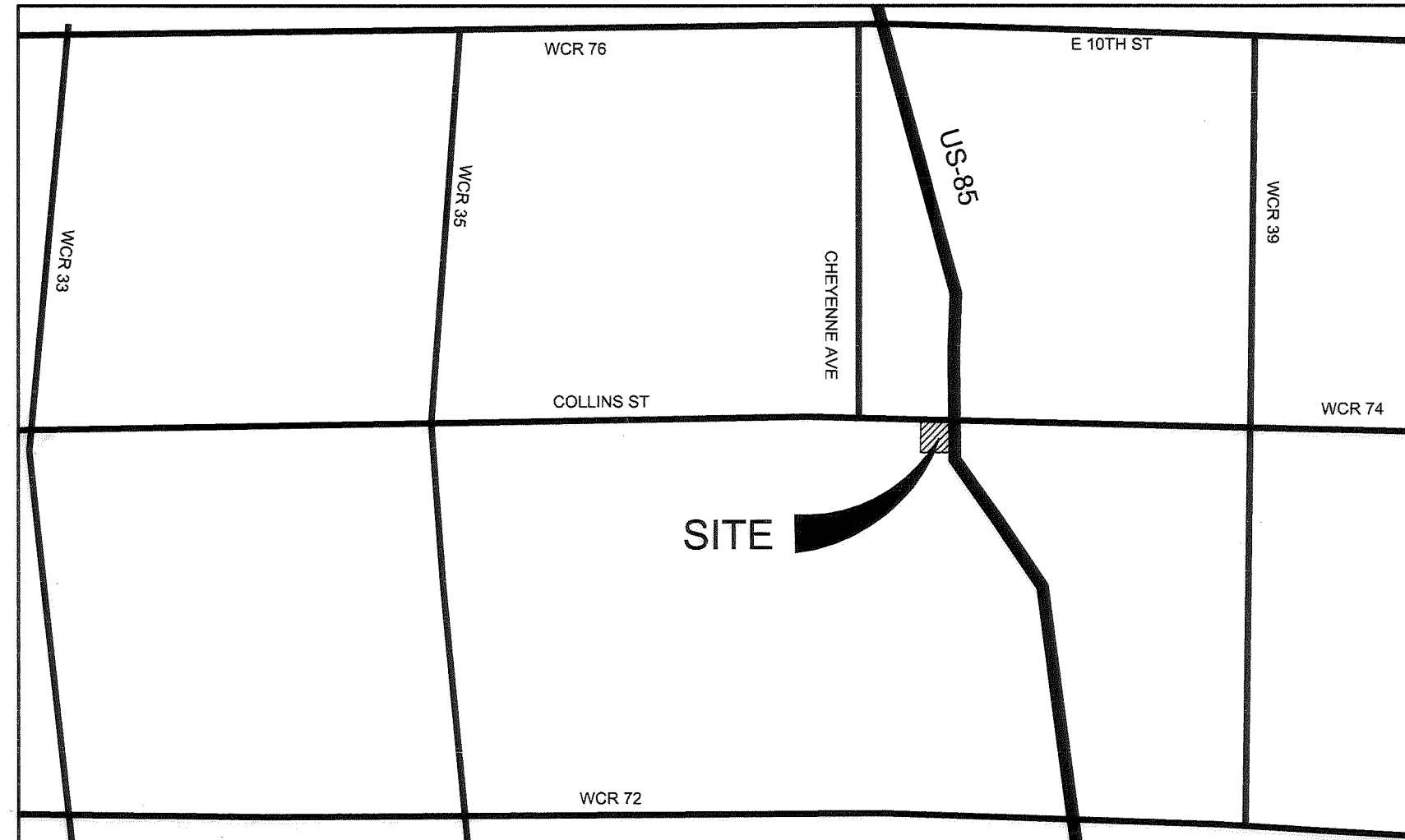
Wesley LaVanchy
Signature

TOWN OF EATON ENGINEERING:

Review is for general compliance with Town standards and regulations. Construction must be in accordance with applicable Town standards. The Town's acceptance shall not relieve the Design Engineer's responsibility for errors, omissions, or design deficiencies for which the Town is held harmless.

This 22nd day of MARCH, 2024.
BRADLEY A. CURTIS, PE
Town of Eaton Engineer

Bradley A. Curtis
Signature



VICINITY MAP

NTS



SITE DATA:

EXISTING ZONING: PUD

ADJACENT ZONING: N=C-2; S=PUD; W=PUD; E=C-2

ADJACENT USES: BUSINESS

SITE SF & ACREAGE: 37,540 SF / 0.862 ACRES

REQUIRED SETBACKS:

NORTH: 10'

EAST: 10'

WEST: 10'

SOUTH: 10'

LAND USE DATA:

BUILDING FOOTPRINT:	5,832	16.00%
IMPERVIOUS SURFACES:	12,487	33.25%
OTHER IMPERVIOUS AREAS	-	N/A
LANDSCAPE AREA (ON-SITE):	19,065	50.76%
TOTAL:	37,560 SF	100.00% 0.8623 AC

BUILDING DATA:

BLDG FOOTPRINT: 5,832 SF
BUILDING HEIGHT: 30'-2"

MAX BUILDING HEIGHT 3 STORIES
SF BY USE:

BUSINESS OFFICES:	4,652
CONFERENCE AREA:	689
STORAGE:	115
OTHER:	376

PARKING SUMMARY:

PARKING REQUIREMENT = 1 / 500 SF
TOTAL SF = 5832 / 500 = 12

ADA SPACES REQUIRED / PROVIDED: 1 (1 VAN ACCESSIBLE) / 1
TOTAL PARKING SPACES REQUIRED / PROVIDED: 12 / 18

PROJECT PURPOSE/DESCRIPTION:

THIS PROJECT PROPOSES A DEMOLITION AND RECONSTRUCTION OF AN EXISTING BUILDING TO ACCOMMODATE NEW OFFICE USE. EXISTING SITEWORK WILL BE DEMOLISHED AND RECONSTRUCTED TO ALLOW FOR IMPROVED CIRCULATION. LANDSCAPE, PARKING, AND LIGHTING WILL BE PROVIDED PER TOWN CODE.

DEVELOPMENT TEAM:

OWNER / DEVELOPER:

AGFINITY
260 FACTORY RD
EATON, CO 80615
970.454.3391

PLANNER / LANDSCAPE ARCHITECT:

NATURAL DESIGN SOLUTIONS - JASON R OLDHAM
5539 COLT DR
LONGMONT, CO 80503
jason@ndscolorado.com, 970-420-9555

ARCHITECT:

INFUSION ARCHITECTS
MELISSA LANNING
4487 HIGHLAND MEADOWS PKWY
WINDSOR, CO 80550
melissa.lanning@infusionarchitects.com

CIVIL ENGINEER:

MIKE BEACH
RIDGETOP ENGINEERING & SURVEYING
541 E GARDEN DR N
WINDSOR, CO 80550
970-663-4552

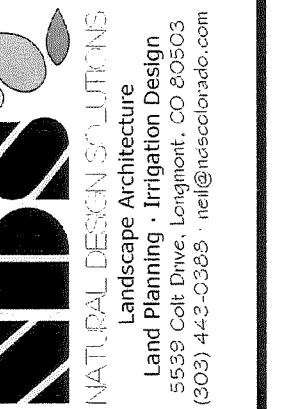
SHEET INDEX:

- COVER PAGE
- SITE PLAN
- UTILITY PLAN
- EROSION CONTROL PLAN
- GRADING / DRAINAGE PLAN
- ARCHITECTURAL ELEVATIONS
- ARCHITECTURAL ELEVATIONS
- ARCHITECTURAL DETAILS
- LANDSCAPE PLAN
- LANDSCAPE PLAN DETAILS AND NOTES
- PHOTOMETRIC
- PHOTOMETRIC DETAILS AND NOTES

AGFINITY CORPORATE OFFICE
110 COLLINS ST - EATON, CO

PROJECT COVER SHEET

REVISIONS:
TOWN Comments 01.30.24



PROJ. NO.:
DATE: 11.28.23
SCALE: See Sheet
DRAWN: JRO
CHKD BY: NAM
SHEET 1 of 12

AGFINITY CORPORATE OFFICE SITE DEVELOPMENT PLAN

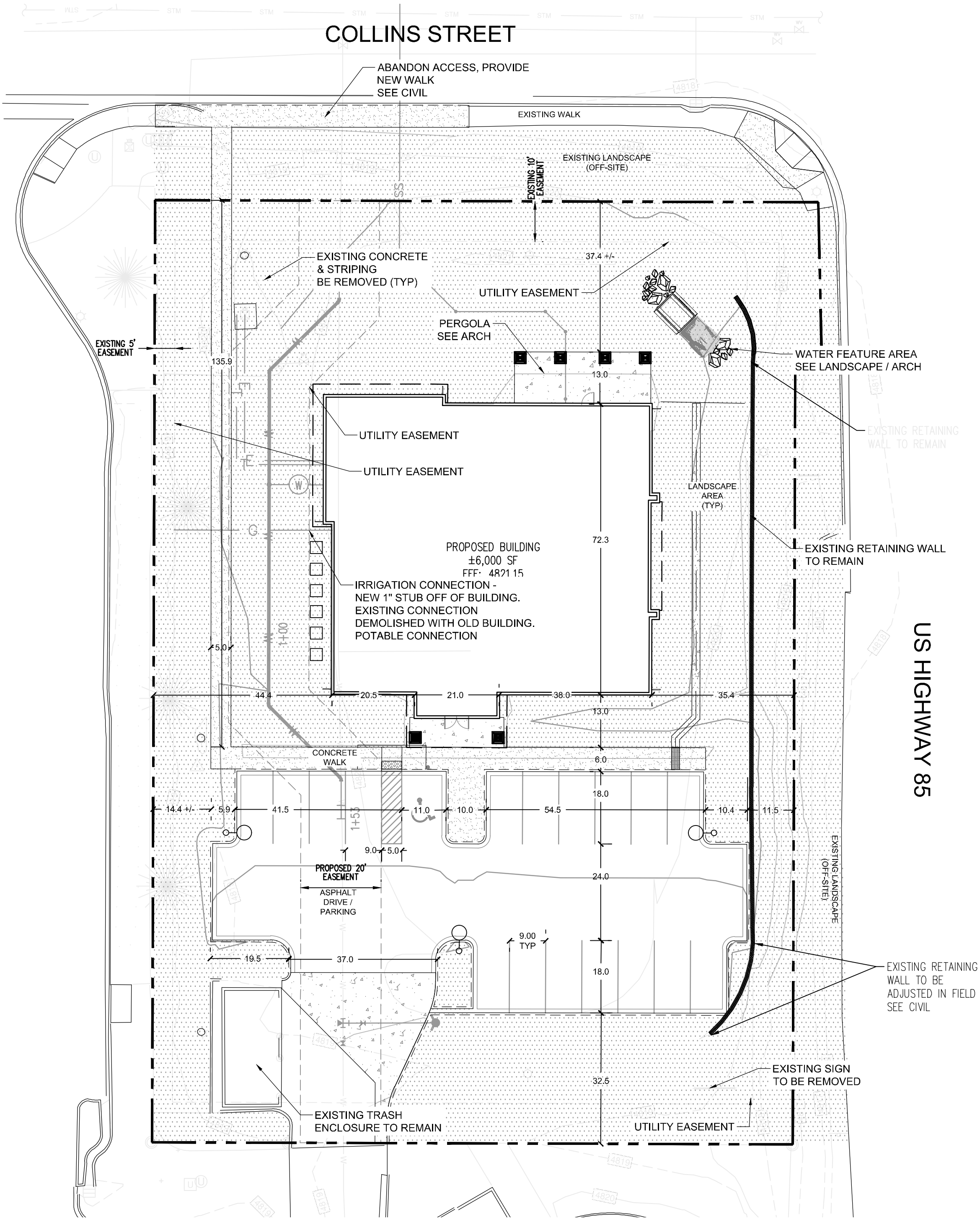
110 COLLINS ST

LOT 1, BLOCK 1 MAPLEWOOD ESTATES FIRST REPLAT

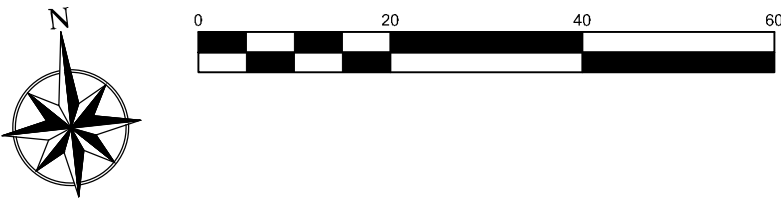
LOCATED IN PART OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 6 NORTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF EATON, COUNTY OF WELD, STATE OF COLORADO

PLAN NOTES

1. REFER TO UTILITY PLANS FOR ALL UTILITY, DRAINAGE, GRADING, EROSION CONTROL AND STREET DESIGN REQUIREMENTS.
2. PARKING LOT LIGHTING IS TO BE DESIGNED AS "FULL CUT-OFF".
3. ALL SIGNS SHALL COMPLY WITH THE TOWN OF EATON SIGN REGULATIONS / SIGN PERMIT REQUIREMENTS.
4. SEE CIVIL PLANS FOR PAVEMENT TYPES AND DEPTHS.
5. THE CONTRACTOR SHALL NOT PURPOSEFULLY PROCEED WITH ANY CONSTRUCTION PER PLANS PROVIDED WHEN OBSTRUCTIONS AND / OR DIFFERENCES EXIST THAT WERE NOT CONSIDERED AND REVIEWED OR APPROVED. CONTRACTOR SHALL NOTIFY OWNER OR OWNER'S REPRESENTATIVE AND THE TOWN OF EATON IF SITUATION ARISES AND REVISIONS ARE NECESSARY.
6. THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND OTHER POLLUTANTS FROM ENTERING ANY STORM WATER SEWER SYSTEM OR, ADJACENT WATER WAYS, ETC., DURING THE DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE AND EXPENSE FOR THE CORRECTION OF ANY ADVERSE IMPACTS TO THE STORM WATER SEWER SYSTEM OR, ADJACENT WATER WAYS, WETLANDS ETC., RESULTING FROM THE WORK DONE AS PART OF THIS PROJECT/CONTRACT.
7. THE CONTRACTOR SHALL BE RESPONSIBLE PRIOR TO BIDDING AND CONSTRUCTION, OF BECOMING AWARE OF ALL EXISTING AND PROPOSED UTILITIES, PIPES,STRUCTURES, ETC. CALL UNCC THREE DAYS BEFORE SCHEDULED WORK AT 811 OR 1-800-922-1987.
8. MONUMENT SIGNAGE TO BE APPROVED THROUGH SEPARATE SIGN PERMIT WITH THE TOWN OF EATON.
9. DITCH TO BE PRESERVED DURING CONSTRUCTION. NO CONSTRUCTION ACTIVITIES TO OCCUR IN DITCH AREA.



SITE PLAN
SCALE: 1" = 20'



AGFINITY CORPORATE OFFICE
110 COLLINS ST - EATON, CO

OVERALL SITE PLAN

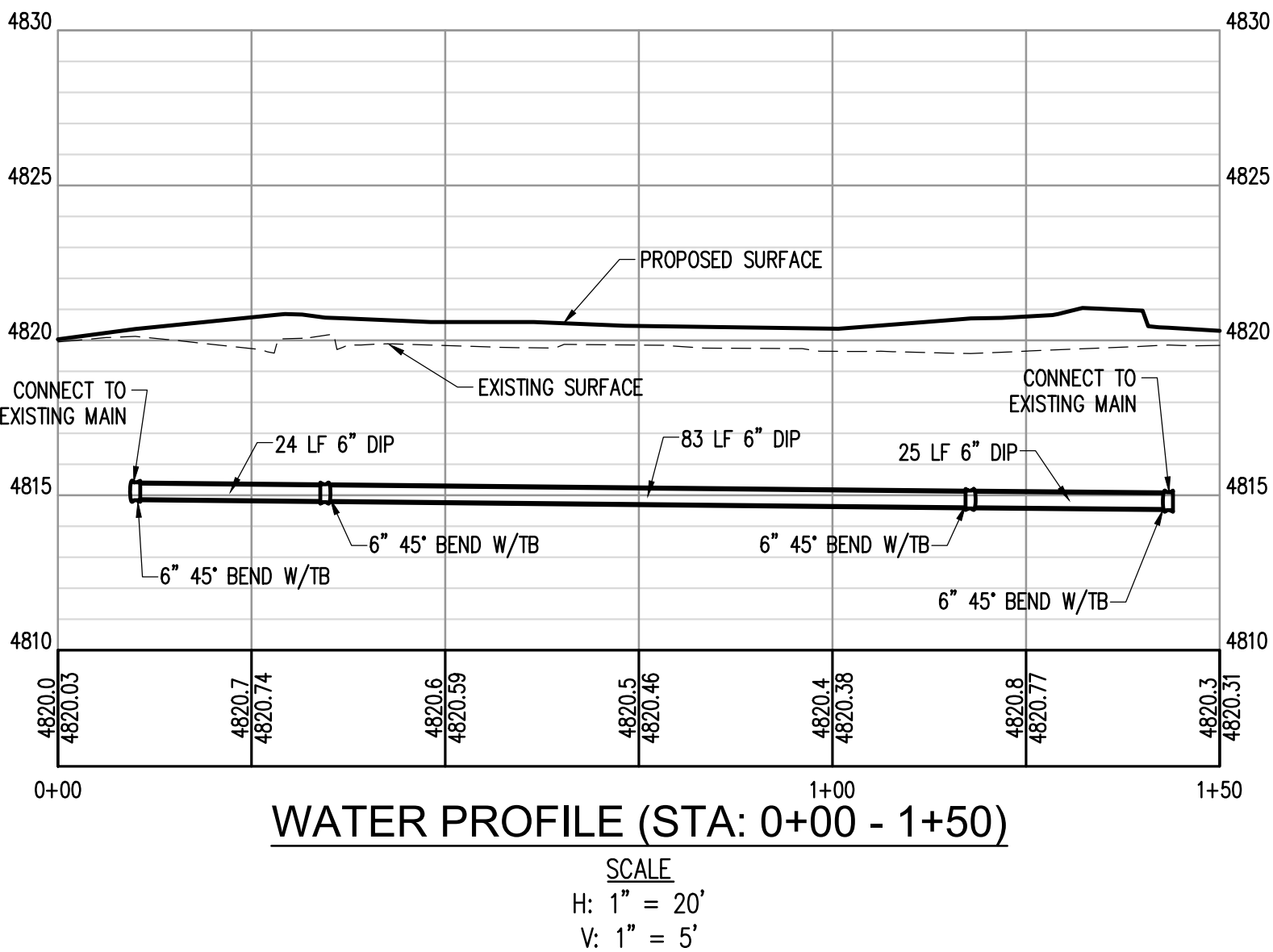
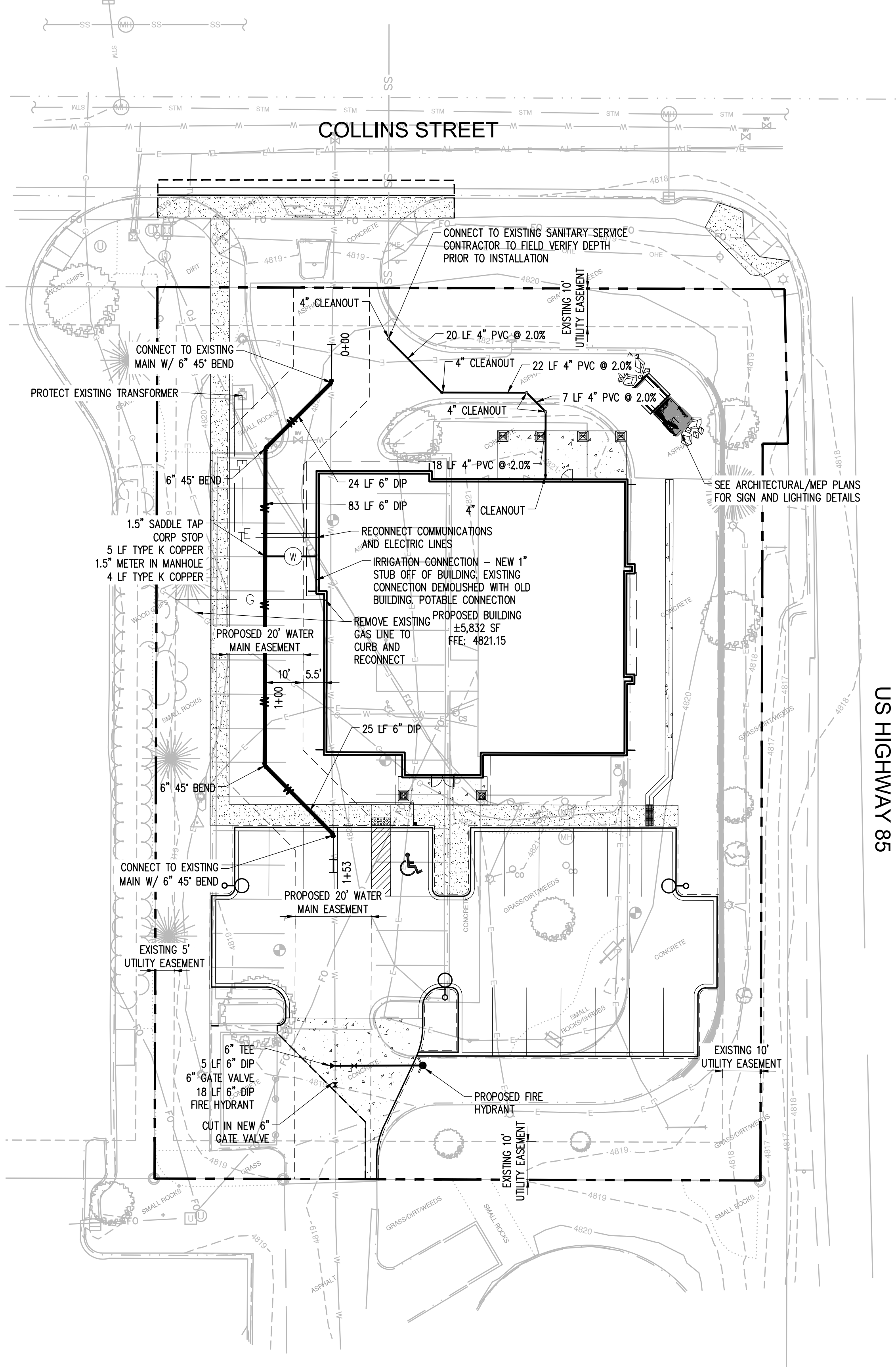
PROJ. NO.:
DATE: 11.28.23
SCALE: See Sheet
DRAWN: JRO
CHKD BY: NAM
SHEET 2 of 12

REVISIONS:
TOWN Comments 01.30.24

NATURAL DESIGN SOLUTIONS
Landscape Architecture
Land Planning - Irrigation Design
(950) 443-2323 nels@naturaldesignsolutions.com

AGFINITY CORPORATE OFFICE

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LOT 1, BLOCK 1 MAPLEWOOD ESTATES FIRST REPLAT
LOCATED IN PART OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 6 NORTH, RANGE 65
WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF EATON, COUNTY OF WELD, STATE OF COLORADO



LEGEND

---	PROPERTY LINE
==	CURB AND GUTTER
-x-x-	FENCE
- - -	BUILDING SETBACK
---	PROPOSED BUILDING
W	WATER LINE
SS	SEWER LINE
G	GAS LINE
E	ELECTRIC LINE
T	COMMUNICATIONS LINE
⊙	SANITARY MANHOLE

LOGO

ENGINEERING & SURVEYING
541 E. Garden Drive, Unit N, Windsor, CO 80550
T: (970) 663-4562
W: ridgetopeng.com

SEAL

PROJECT TITLE

AGFINITY CORPORATE OFFICES

110 COLLINS STREET
EATON, CO 80615

PREPARED FOR

AGFINITY INC.

44065 ST CLOUD DRIVE
STE 100
LOVELAND, CO 80538

SUBMITTAL

SITE DEVELOPMENT PLAN

DRAWN BY: KNW
CHECKED BY: MRB
PROJECT NO.: ---

REVISIONS	

DATE

12/04/2023

SHEET TITLE

UTILITY PLAN

SHEET INFORMATION

C-3.0

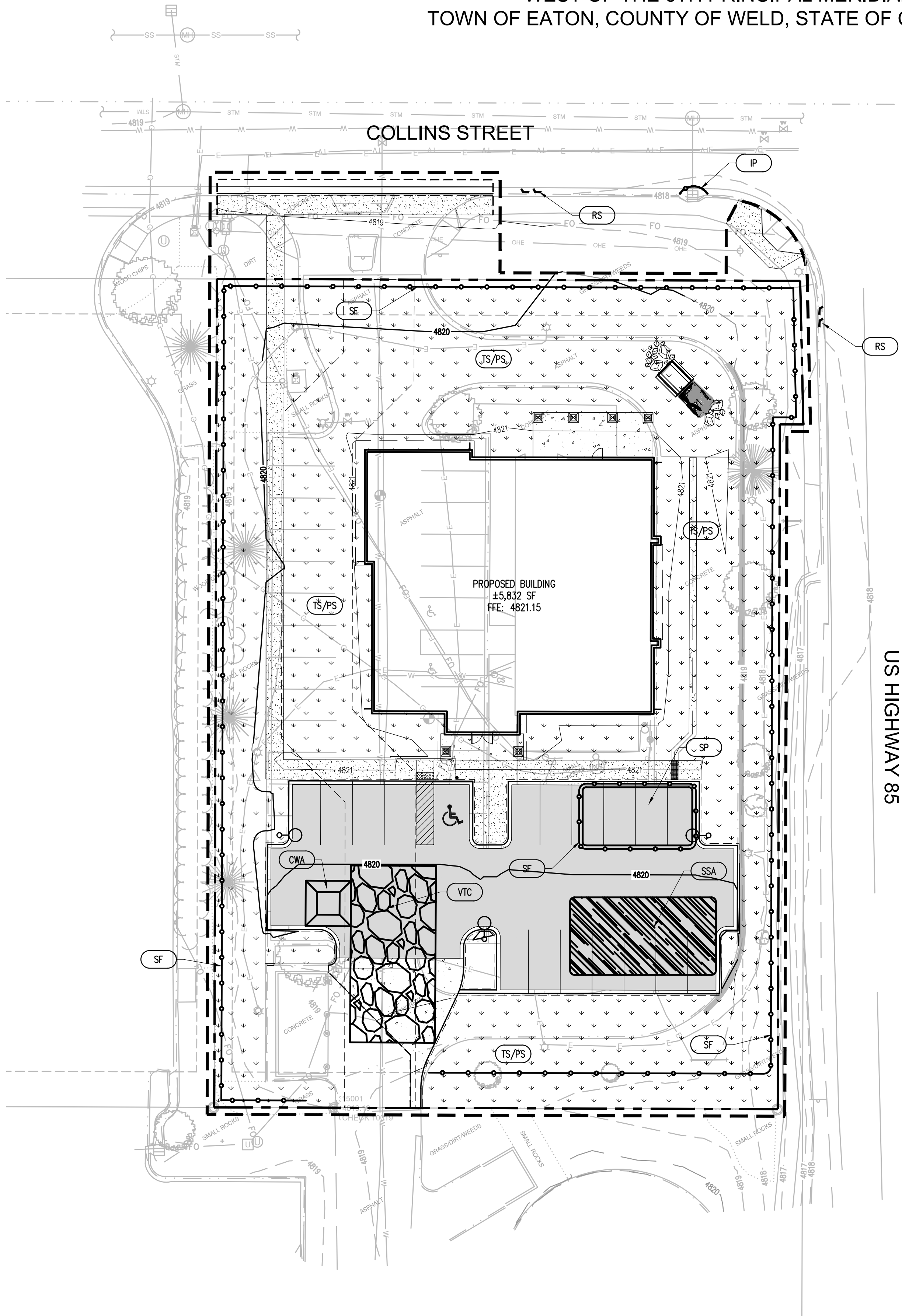
3 of 12

0 10 20 40
1 inch = 20 ft.

Know what's below.
Call before you dig.

AGFINITY CORPORATE OFFICE

110 COLLINS ST
LOT 1, BLOCK 1 MAPLEWOOD ESTATES FIRST REPLAT
LOCATED IN PART OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 6 NORTH, RANGE 65
WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF EATON, COUNTY OF WELD, STATE OF COLORADO



NOTE:
A. INSPECTION OF ALL EROSION AND SEDIMENT CONTROL BMP'S SHALL BE REQUIRED AT THE END OF EACH DAY'S WORK, WITH NECESSARY MAINTENANCE AND REPAIRS PROVIDED IMMEDIATELY.
B. STORM DRAIN INLETS SHALL BE PROTECTED FROM THE ENTRY OF SEDIMENT-LADEN WATER UNTIL FINAL STABILIZATION IS COMPLETE.
C. TOWN OF EATON STORMWATER STAFF MAY DIRECT THE OWNER/OPERATOR TO INSTALL ADDITIONAL BMP'S, REPAIR EXISTING BMP'S, OR CLEAN DISCHARGES THAT HAVE BEEN TRANSPORTED OFFSITE IF EXISTING BMP'S FAIL AND RESULT IN AN ILLICIT DISCHARGE TO THE CITY'S STORMWATER SYSTEM.
D. IF, AT ANY TIME, THE DIRECTOR OF PUBLIC WORKS DECIDES THAT THE PROJECT POSES A SIGNIFICANT THREAT TO THE CITY'S STORM DRAINAGE SYSTEM OR WATERS OF THE STATE, HE OR SHE MAY REQUIRE THAT THE PROJECT OBTAIN A TOWN OF EATON LAND GRADING PERMIT.

CONTRACTOR SHALL LEAVE EXPOSED DISTURBED SOILS IN A SURFACED ROUGHENED STATE UNTIL CONSTRUCTION ACTIVITIES ARE COMPLETE. IF NO CONSTRUCTION IS TO TAKE PLACE WITHIN 30 DAYS WHERE SOILS ARE DISTURBED, TEMPORARY SEED MUST BE APPLIED, SEE SEEDING NOTE, THIS SHEET.

NOTE TO CONTRACTOR:
WHILE THE LIMITS OF DISTURBANCE SHOWN INCLUDES ALL OF THE SITE, THE CONTRACTOR SHALL LIMIT DISTURBANCE OF NATURAL VEGETATION AS MINIMALLY AS NECESSARY TO COMPLETE THE PROPOSED WORK. TEMPORARY/PERMANENT SEEDING SHALL ONLY APPLY TO THOSE AREAS DISTURBED. ALSO, THE CONTRACTOR WILL BE REQUIRED TO SWEEP OR VACUUM ANY VISIBLE SEDIMENT THAT IS TRACKED ONTO CITY STREETS.

ACREAGE SUMMARY (IN ACRES)

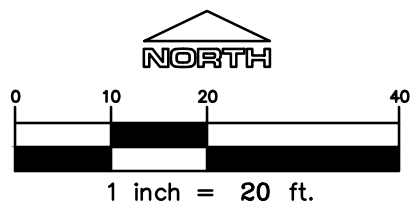
SITE AREA	0.86 AC±
ON-SITE DISTURBED AREA	0.86 AC±
OFF-SITE DISTURBED AREA	0.10 AC±
TOTAL DISTURBED AREA	0.96 AC±

SEEDING NOTE:

TEMPORARY SEEDING - WITHIN 14 DAYS AFTER CONSTRUCTION ACTIVITY CEASES ON ANY PARTICULAR AREA, ALL DISTURBED GROUND WHERE THERE WILL NOT BE CONSTRUCTION FOR LONGER THAN 21 DAYS MUST BE SEEDED WITH FAST-GERMINATING TEMPORARY SEED AND PROTECTED WITH MULCH.

PERMANENT SEEDING - ALL AREAS AT FINAL GRADE MUST BE SEEDED WITHIN 14 DAYS AFTER COMPLETION OF THE MAJOR CONSTRUCTION ACTIVITY.

REFER TO LANDSCAPE PLAN FOR SEED MIXTURES.



LEGEND	
EX. CONTOUR	
LIMITS OF DISTURBANCE	
PROPERTY LINE	

EROSION DETAILS

	VIC CONSTRUCTION EXIT	1 ER-2.0
	SILT FENCE	2 ER-2.0
	CONCRETE WASHOUT	3 ER-2.0
	STAGING & STORAGE	1 ER-2.1
	ROCK SOCK	2 ER-2.1
	INLET PROTECTION	2 ER-2.2
	STOCKPILE STORAGE	3 ER-2.1
	TEMPORARY/PERMANENT SEEDING	1 ER-2.2

LOGO

RIDGE TOP
ENGINEERING & SURVEYING
541 E. Garden Drive, Unit N Windsor, CO 80550
T (970) 683-4562 W ridgektopeng.com

SEAL

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110 COLLINS STREET
EATON, CO 80615

PREPARED FOR

AGFINITY INC.

44065 ST CLOUD DRIVE
STE 100
LOVELAND, CO 80538

SUBMITTAL

SITE DEVELOPMENT
PLAN

DRAWN BY: KNW

CHECKED BY: MRB

PROJECT NO.: ---

REVISIONS

DATE

12/04/2023

SHEET TITLE

EROSION
CONTROL
PLAN

SHEET INFORMATION

ER-1.0

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AGFINITY CORPORATE OFFICE

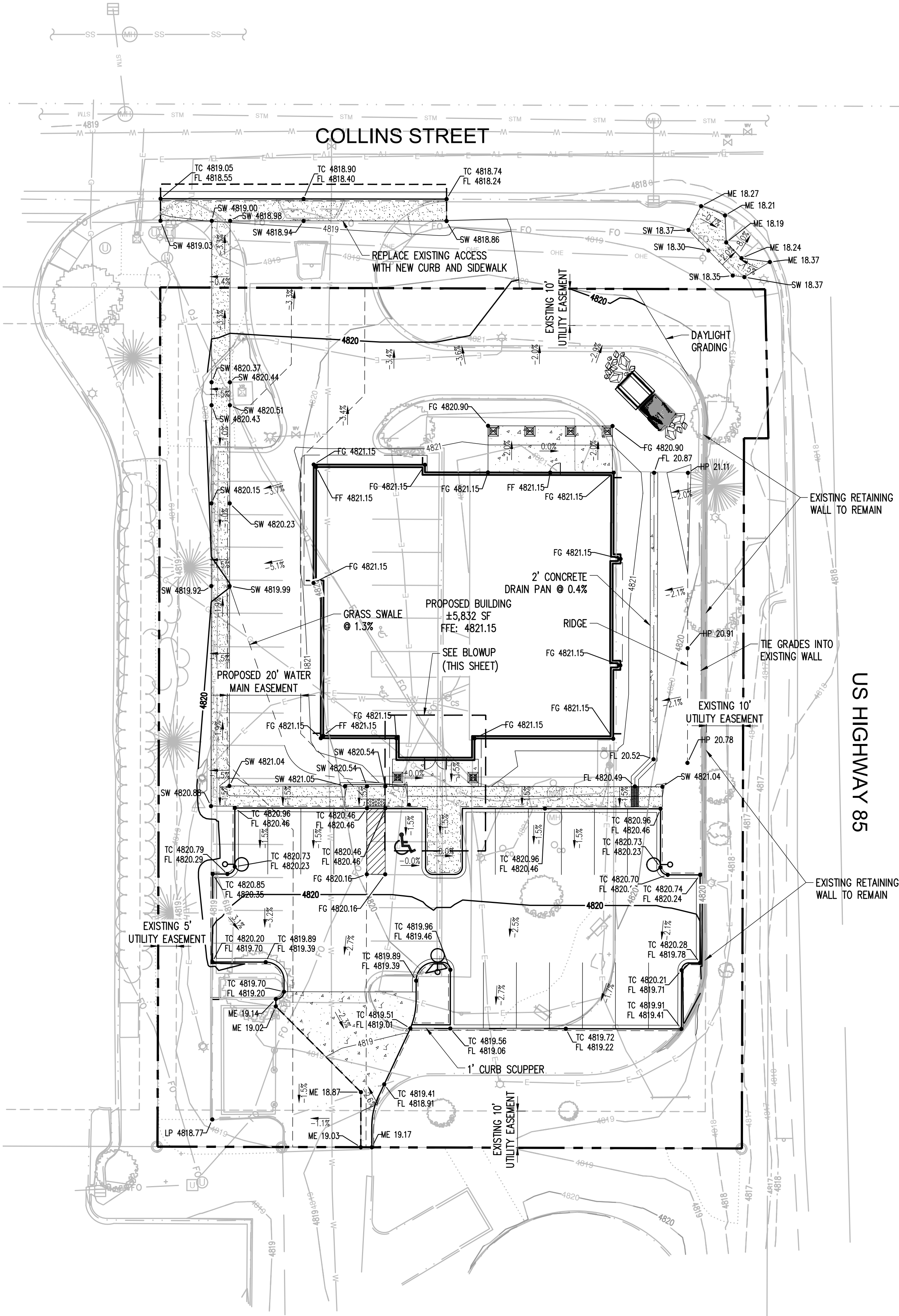
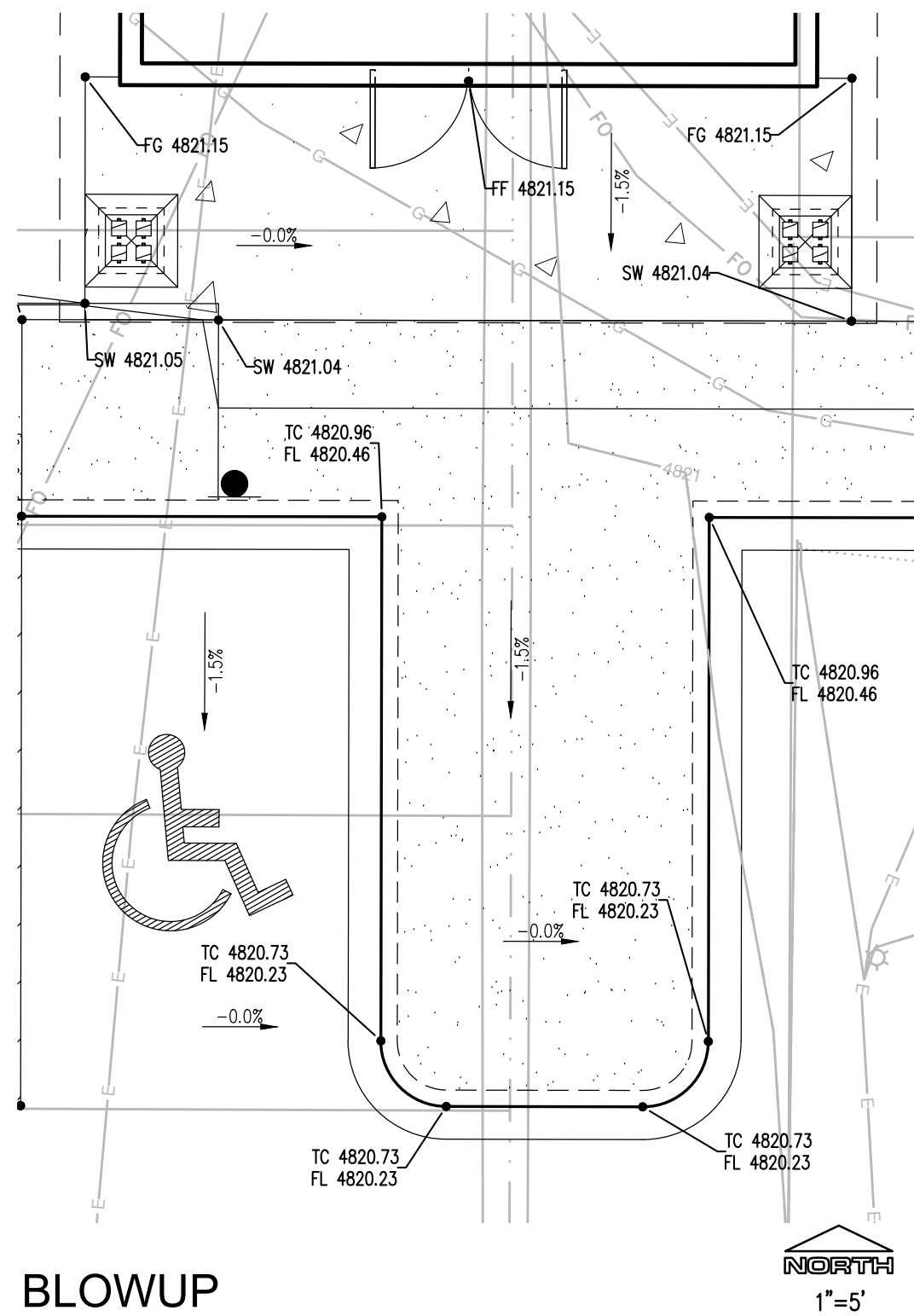
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WEST OF THE 6TH PRINCIPAL MERIDIAN

TOWN OF EATON, COUNTY OF WELD, STATE OF COLORADO



NOTE:
CONTRACTOR SHALL POTHOLE ALL NEW AND/OR EXISTING
UTILITY CROSSINGS AND POINTS OF CONNECTION TO CONFIRM
DEPTH AND LOCATION AS FIRST ORDER OF WORK.

LEGEND

EX. CONTOUR	---
PROPOSED CONTOUR	---
PROPERTY LINE	---
SPOT ELEVATION	4853
TOP OF CURB	TC
FINISHED GRADE	FG
FINISHED FLOOR	FF
SIDEWALK	SW
MATCH EXISTING	ME

LOGO

RIDGE TOP
ENGINEERING & SURVEYING
541 E. Garden Drive, T (970) 663-4562
Unit N Windsor, CO 80550 W ridgetopeng.com

SEAL

COLORADO LICENSED
PROFESSIONAL ENGINEER
45088
3/19/2023

PROJECT TITLE

AGFINITY
CORPORATE
OFFICES

110 COLLINS STREET
EATON, CO 80615

PREPARED FOR

AGFINITY INC.

44065 ST CLOUD DRIVE
STE 100
LOVELAND, CO 80538

SUBMITTAL

SITE DEVELOPMENT
PLAN

DRAWN BY: KNW

CHECKED BY: MRB

PROJECT NO.: ---

REVISIONS

NO.	DESCRIPTION	DATE

DATE

12/04/2023

SHEET TITLE

GRADING &
DRAINAGE
PLAN

SHEET INFORMATION

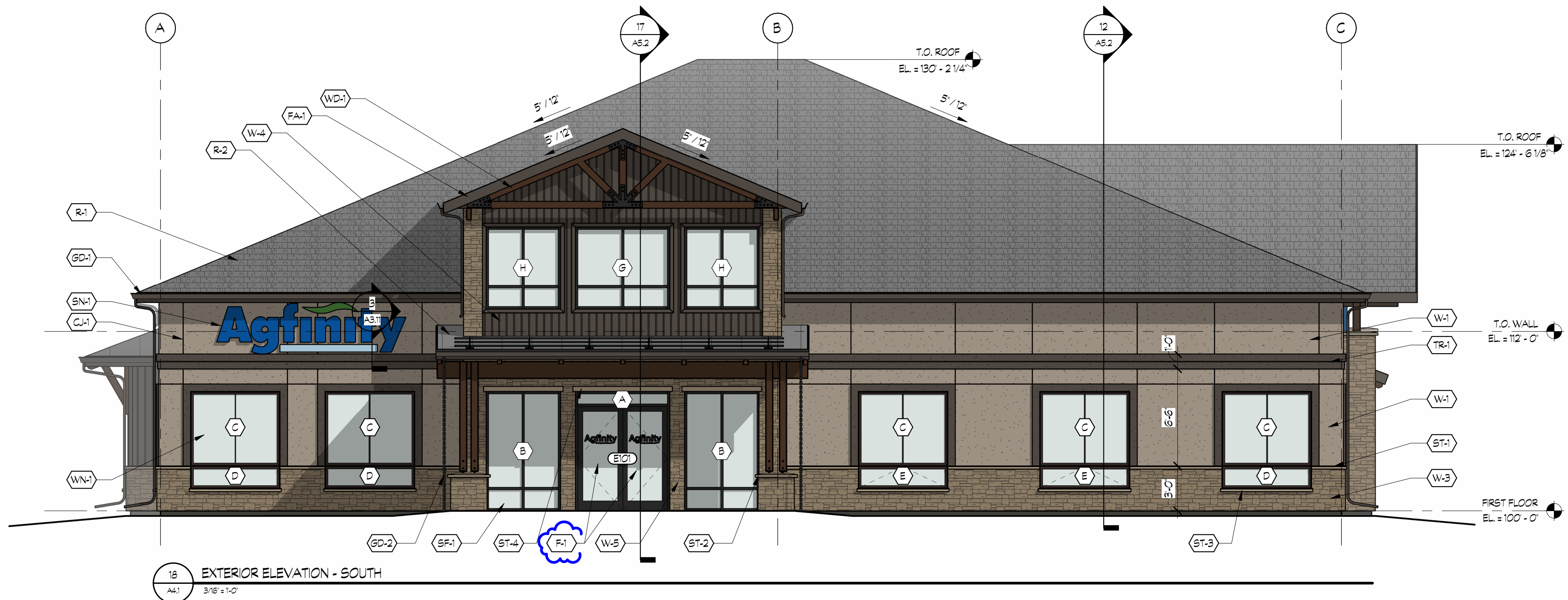
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SOUTHWEST PERSPECTIVE

EXTERIOR MATERIALS					
KEYNOTE	MATERIAL	MANUFACTURER	PRODUCT NAME	COLOR NAME	REMARKS
CH-1	CONTROL JOINT	CEMCO	DOUBLE V	MATCH W-1	
EF-1	EXTERIOR WINDOW FILM	3M	SUN CONTROL WINDOW PRESTIGE EXTERIOR	PR20X	
FA-1	FASCIA	JAMES HARDIE		SW 7020 - BLACK FOX	
GD-1	PREFINISHED METAL GUTTER & DOWNSPOUT			PAINTED TO MATCH FASCIA	
GD-2	CHAIN DRAIN			STAINLESS STEEL	
R-1	ASPHALT SHINGLE ROOF	OWENS CORNING	DURATION STORM	ESTATE GRAY	CLASS 4 IMPACT RESISTANT
R-2	PREFINISHED STANDING SEAM METAL ROOF	BERRODGE	TEE-PANEL	DARK BRONZE	
SP-1	ALUMINUM STOREFRONT WINDOW SYSTEM	TUBELITE		DARK BRONZE	
SN-1	EXTERIOR SIGNAGE				RE SHEET 11.5
ST-1	STONE WANSBLOT CAP	ELDERADO STONE		BUCKSKIN	
ST-2	STONE TAPERED WALL CAP	ELDERADO STONE		BUCKSKIN	
ST-3	STONE LINTEL	ELDERADO STONE		BUCKSKIN	
ST-4	STONE HEADER	ELDERADO STONE		BUCKSKIN	
TR-1	BELLY BAND TRIM	DRYVIT		DARK CHOCOLATE OR SIMILAR	TEXTURE: SANDBLAST
TR-2	FCB TRIM	JAMES HARDIE		SW 7020 - BLACK FOX	
W-1	STUCCO	DRYVIT		PEARL ASH OR SIMILAR	TEXTURE: SANDBLAST
W-2	BOARD & BATTEN SIDING	JAMES HARDIE		SW 7020 - BLACK FOX	
W-3	STONE VENEER	ELDERADO STONE	MOUNTAIN LEDGE	SIERRA	
W-4	BOARD & BATTEN SIDING	JAMES HARDIE		SW 7020 - BLACK FOX	2X8 WD STUDS, RE: STRUCT
W-5	STONE VENEER	ELDERADO STONE	MOUNTAIN LEDGE	SIERRA	2X8 WD STUDS, RE: STRUCT
WD-1	DECORATIVE WOOD TRUSS			SW SEMI-TRANSPARENT STAIN - CHESTNUT	RE: AS.8
WD-2	DECORATIVE WOOD BRACKET			SW SEMI-TRANSPARENT STAIN - CHESTNUT	RE: AS.8
WN-1	ALUMINUM CLAD WINDOW	KOLBE	ULTRA SERIES	DARK BRONZE	



PERMIT SET

Issued For SD:		
Issued For DD: 11/22/2023		
Issued For Permit: 01/09/2024		
Issued For Construction:		
Revision Number	Description	Revision Date
1	Permit Resubmittal	03/06/2024

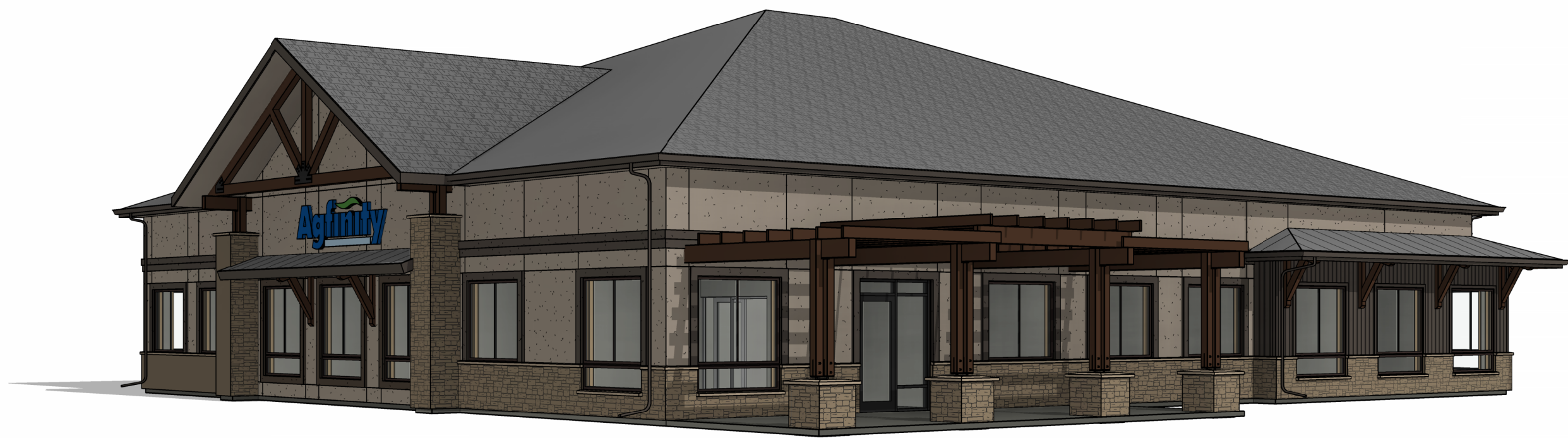


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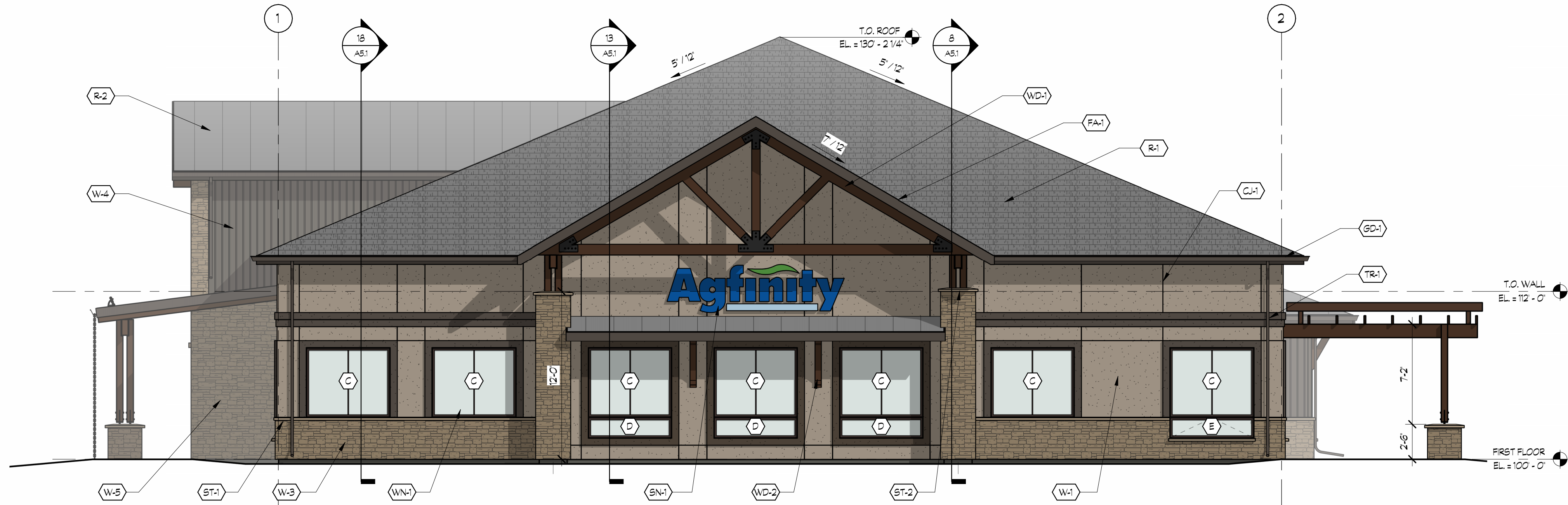
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EXTERIOR
BUILDING
ELEVATIONS

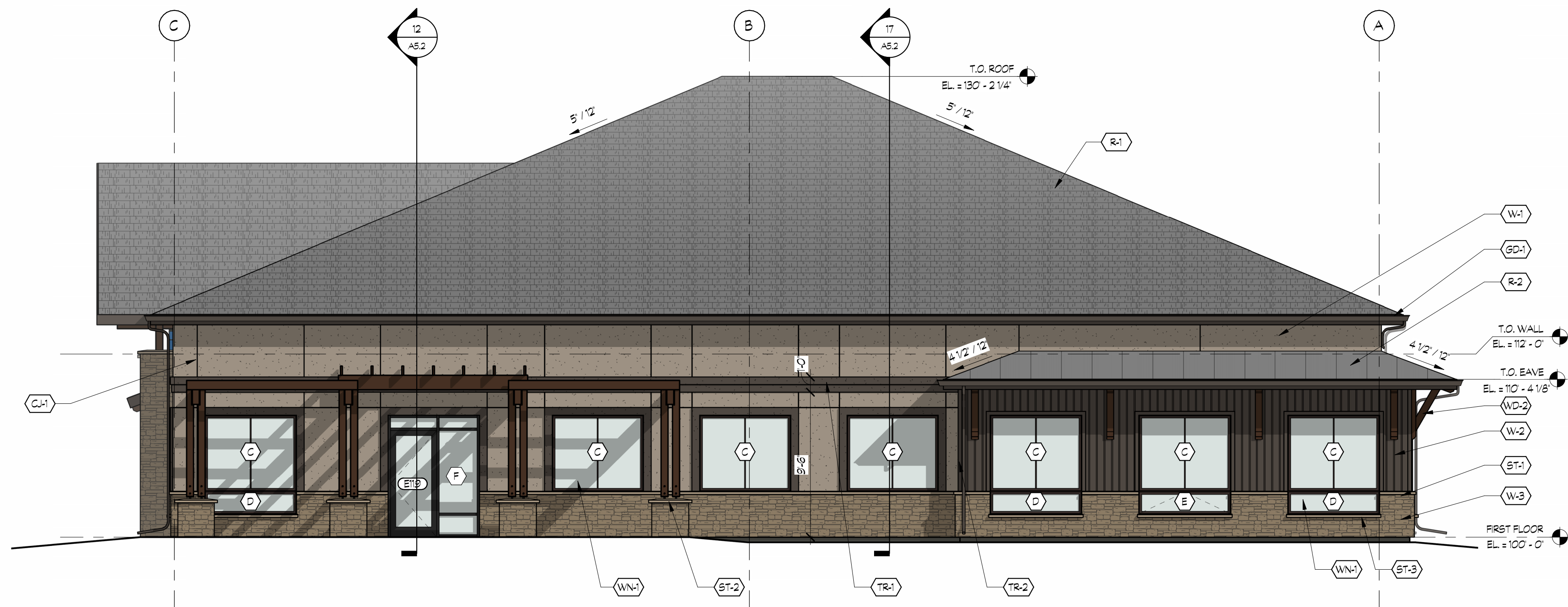


NORTHEAST PERSPECTIVE

EXTERIOR MATERIALS					
KEYNOTE	MATERIAL	MANUFACTURER	PRODUCT NAME	COLOR NAME	REMARKS
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CL-2	EXTERIOR WINDOW FILM	3M	SUN CONTROL WINDOW PRESTIGE EXTERIOR	PR20X	
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R-1	ASPHALT SHINGLE ROOF	OWENS CORNING	DURATION STORM	ESTATE GRAY	CLASS 4 IMPACT RESISTANT
R-2	PRE-FINISHED STANDING SEAM METAL ROOF	BERDOGE	TEE-PANEL	DARK BRONZE	
SR-1	ALUMINUM STOREFRONT WINDOW SYSTEM	TUSLITE		DARK BRONZE	
SN-1	EXTERIOR SIGNAGE				RE SHEET 11.5
ST-1	STONE WAINSCOT CAP	ELDERADO STONE		BUCKSKIN	
ST-2	STONE TAPERED WALL CAP	ELDERADO STONE		BUCKSKIN	
ST-3	STONE LINTEL	ELDERADO STONE		BUCKSKIN	
ST-4	STONE HEADER	ELDERADO STONE		BUCKSKIN	
TR-1	BELLY BAND TRIM	DRYVIT		DARK CHOCOLATE OR SIMILAR	TEXTURE: SANDBLAST
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W-5	STONE VENEER	ELDERADO STONE	MOUNTAIN LEDGE	SIERRA	2X8 WD STUDS, RE: STRUCT
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WN-1	ALUMINUM CLAD WINDOW	KOLBE	ULTRA SERIES	DARK BRONZE	



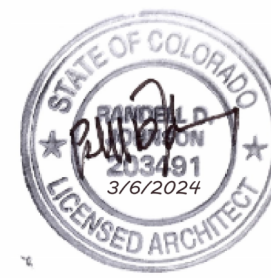
13
A4.2
3/16" = 1'-0"



13
A4.2
3/16" = 1'-0"

PERMIT SET

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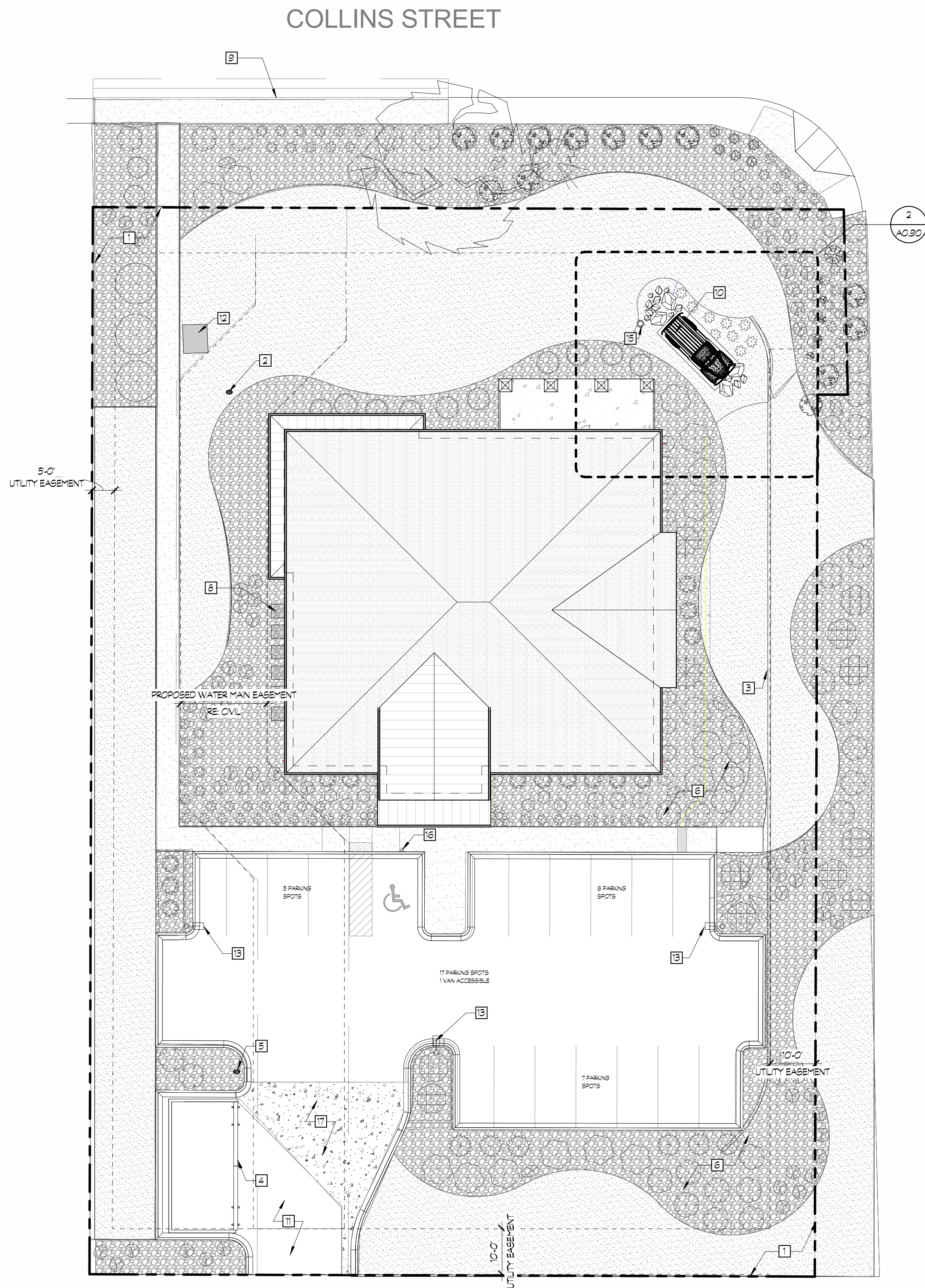


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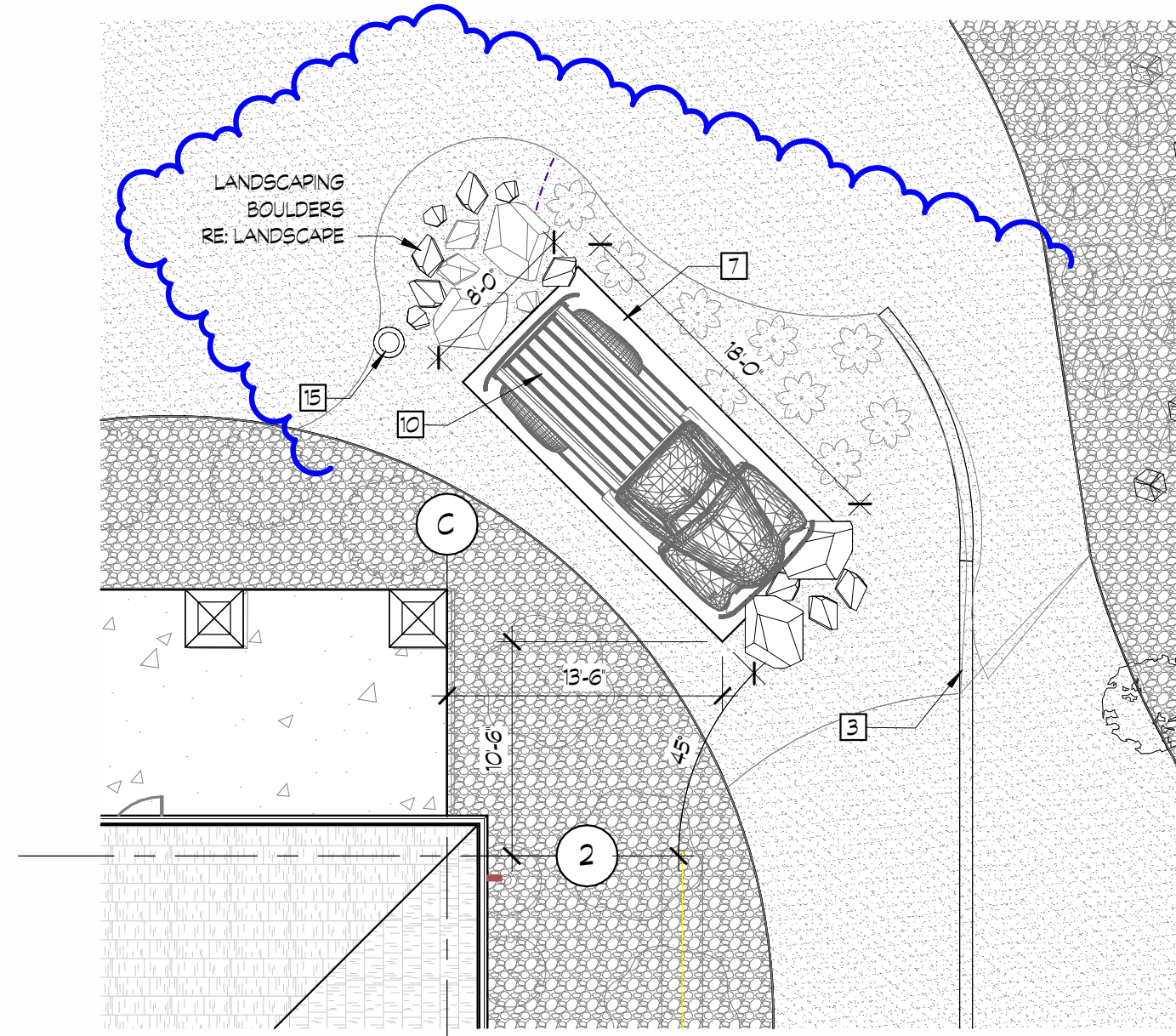
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EXTERIOR
BUILDING
ELEVATIONS



1 ARCHITECTURAL SITE PLAN
A0.80 1/8" = 1'-0"



2 FOUNTAIN ENLARGED PLAN
A0.80 1/8" = 1'-0"



SITE PLAN KEYNOTES	
NUMBER	NOTE
1	PROPERTY LINE
2	EXISTING FIRE HYDRANT TO BE MAINTAINED
3	EXISTING RETAINING WALL TO BE MAINTAINED
4	EXISTING TRASH ENCLOSURE TO BE MAINTAINED
5	FIRE HYDRANT, RE: CIVIL
6	PLANTING, RE: LANDSCAPE
7	4" CONCRETE SLAB
8	CONDENSER, RE: MECHANICAL
9	INFILL ROW SIDEWALK AFTER REMOVAL OF CURB CUT AND ENTRY, PATCH ASPHALT PAVING
10	TRUCK FEATURE, INCLUDE COST FOR LIGHTING AND SIGNAGE, TRUCK BY OWNER
11	EXISTING CONCRETE/ASPHALT TO BE MAINTAINED
12	EXISTING TRANSFORMER TO BE MAINTAINED
13	POLE MOUNTED STREET LAMP, RE: ELEC
15	20' FLAG POLE
16	ADA POLE MOUNTED SIGN
17	NEW CONCRETE PATCH



EXISTING VINTAGE TRUCK PHOTO
12" = 1'-0"



CONCEPTUAL VINTAGE TRUCK MONUMENT SIGN

PERMIT SET

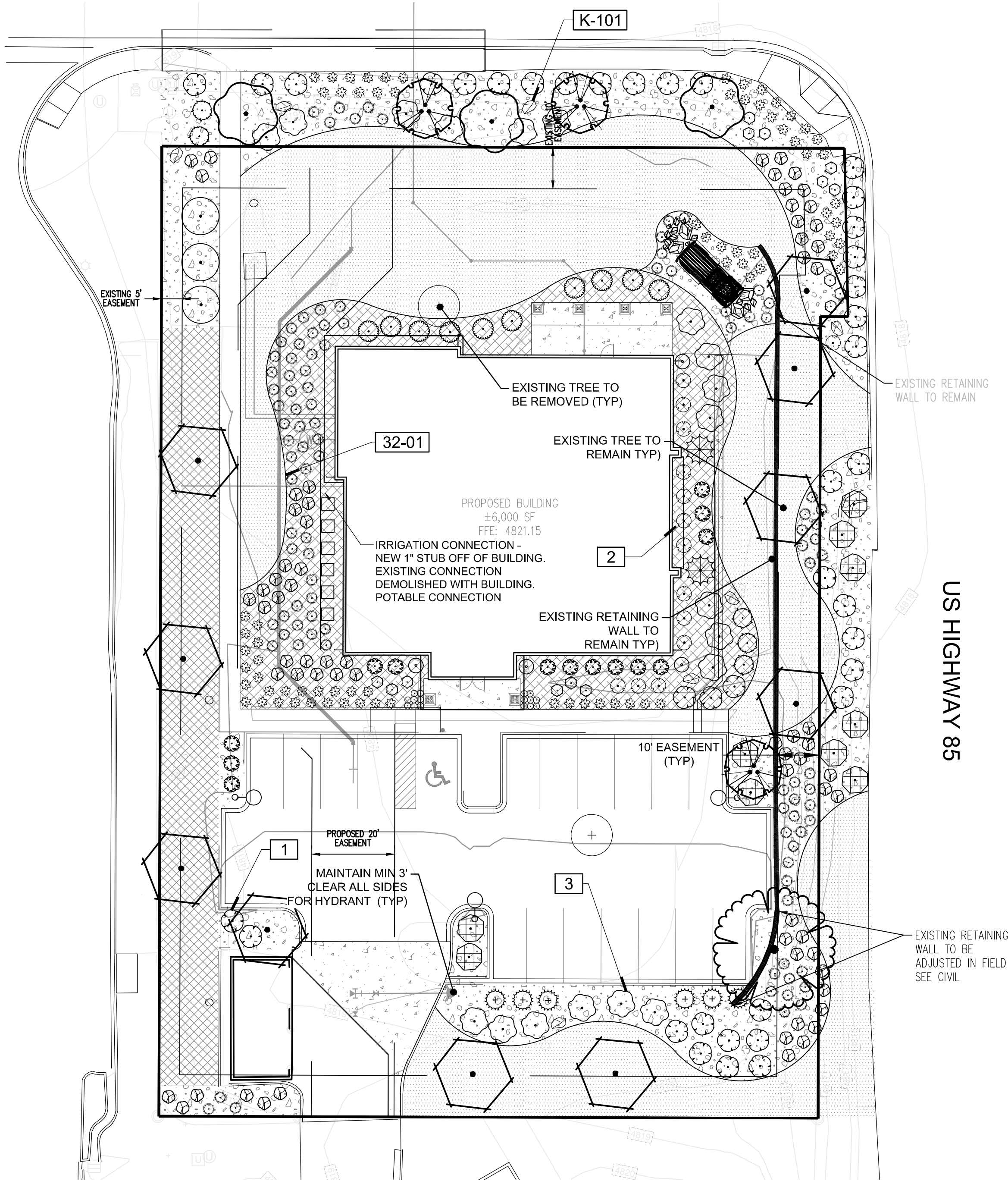
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Revision	Description	Revision
Number	Date	Date
1	Permit Resubmit	03/06/2024



Seal:

23020

Plot Date: 3/14/2024 5:32:30 PM



LANDSCAPE PLAN

SCALE: 1" = 20'

SITE CATEGORY REQUIREMENTS

LANDSCAPE SETBACKS		Site Area = 37,560 sf Landscape area = 20,591 provided	
Street Name or Zone Boundary (elev.)	Street Classification	Setback Width Provided	Linear Footage
US Hwy 85	Major Arterial	30' / 30'	234
Collins St	Collector	10' / 10'	162

MOTOR VEHICLE LOTS – MV

No. of Vehicle Spaces Provided	Shade Trees (1 / 8) Required / Provided	Screening Frontages (excluding driveways)	Parking Area	Parking Area Lsp
18	2 / 2	Southern	6500	840 (12%)
Frontage Screening Provided (LF)	Length of Screening Wall or Berm Provided	Vehicle Lot Plant Abbr. on Plan	Percent Ground Plane Veg. Req. / Provided	
60	N/A	N/A	75% / 82%	

OVERALL LANDSCAPING

Site area	Landscape % Prov	Trees Provided
37560 sf	54% / 20591 sf	25

PLANT SCHEDULE OVERALL

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	MATURE SIZE H x W (feet)
TREES					
	AH	3	ACER TATARICUM 'HOT WINGS' / HOT WINGS TATARIAN MAPLE	2" B&B MULTISTEM	20 X 20
	CA	3	CRATAEGUS AMBIGUA / RUSSIAN HAWTHORN	1.5" B&B MULTISTEM	20 X 15
	EX-REM	2	REMOVE AS INDICATED / EXISTING TREE TO BE REMOVED RECOMMENDATION	EX	
	EX-RET	10	TO REMAIN- PROTECT DURING CONSTRUCTION / EXISTING TREE TO REMAIN	EX	

SHADE TREES

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	
	CO	1	CELTIS OCCIDENTALIS / COMMON HACKBERRY	2" B&B	50 X 30

SHRUBS

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	
	CD	68	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SHRUB	5 GAL	3 X 3
	CBI	10	CORNUS SERICEA 'IVORY HALO' / RED TWIG DOGWOOD	5 GAL	5 X 5
	FM	3	FORESTIERA NEOMEXICANA / NEW MEXICAN PRIVET MULTISTEM	5 GAL	9 X 9
	RRF	4	FRANGULA ALNUS 'FINE LINE' / FINE LINE BUCHTHORN	5 GAL	5 X 2.5
	JSMG	2	JUNIPERUS SCOPULORUM 'MOONGLOW' / UPRIGHT JUNIPER	10 GAL	15 X 7
	PAL	15	PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE' / DWARF RUSSIAN SAGE	5 GAL	3 X 3
	POD	19	PHYSOCARPUS OPULIFOLIUS 'DIABLO' / DIABLO NINEBARK	5 GAL	7 X 7
	POL	14	PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL' / DWARF PURPLE NINEBARK	5 GAL	4 X 4
	PS	6	PINUS MUGO 'SLOWMOUND' / SLOWMOUND MUGO PINE	5 GAL	3 X 5
	PF	14	POTENTILLA FRUTICOSA 'KATHYRN DYKES' / GOLDFINGER POTENTILLA	5 GAL	3 X 3
	PBP	39	PRUNUS BESSEYI 'PAWNEE BUTTES' / SAND CHERRY	5 GAL	1.5 X 6
	RG	10	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL	1 X 6

GRASSES

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	
	BB	76	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLUE GRAMA	1 GAL	2.5 X 3
	CV	103	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL	4 X 2
	SW	5	SPOROBOLUS WRIGHTII / BIG SACATON	1 GAL	5 X 5

PERENNIALS

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	
	PPP	16	PENSTEMON PINIFOLIUS / THREADLEAF BEARDTONGUE	4" POT	1.5 X 2

GROUND COVERS

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	
	EX-RS	2,581 SF	EX LANDSCAPE - SHRUB BED / TO REMAIN ADJUST FOR NEW LAYOUT. REPLACE ANY DEAD/DAMAGED MATERIALS AND PROTECT DURING CONSTRUCTION.	EX	

MULCHES

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	
	RM	8,508 SF	ROCK MULCH / RIVER ROCK 1"-2" COLOR PER OWNER APPROVAL. PLACE TO A UNIFORM DEPTH OF 3"	MULCH	
	WM	4,547 SF	SHREDDED WOOD MULCH / WOOD MULCH GORILLA HAIR SHREDDED CEDAR MULCH PLACED AT 3-4" DEPTH. NO WEED BARRIER UNDER WOOD MULCH AREAS	MULCH	

SOD/SEED

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	
	TURF	10,411 SF	TURF / FESCUE BLEND FESCUE GRASS BLEND	SOD	

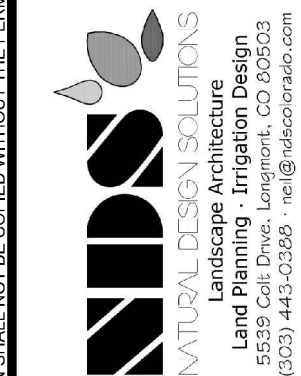
IRRIGATION NOTES

PROVIDE NEW IRRIGATION SYSTEM. SYSTEM TO BE DESIGN-BUILD

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY
[1]	PLACE SHREDDED CEDAR MULCH AROUND BASE OF ALL PERENNIALS AND GRASSES IN LARGE COBBLE AREAS. MASSED PERENNIALS TO RECEIVE LARGE RING AROUND ENTIRE GROUP (TYP). WOOD MULCH NOT REQUIRED AROUND BASE OF PLANTS LOCATED IN PEA GRAVEL.	
[2]	MINIMUM 3' ROOTBALL OFFSET FROM BUILDING, TYP.	
[3]	PLACE PLANTS TO PROVIDE MIN. 2' CLEARANCE FROM BACK OF CURB AT MATURE SPREAD.	
32 LANDSCAPE IMPROVEMENTS		
SYMBOL	DESCRIPTION	QTY
[32-01]	14 G ROLL TOP STEEL EDGING, STAKED 30" OC MAX.	780 LF
ROCK		
SYMBOL	DESCRIPTION	QTY
[K-101]	GRANITE/SANDSTONE BOULDER-DECORATIVE. 1 TON AVG SIZE	18

REVISIONS:
TOWN Comments 01.30.24



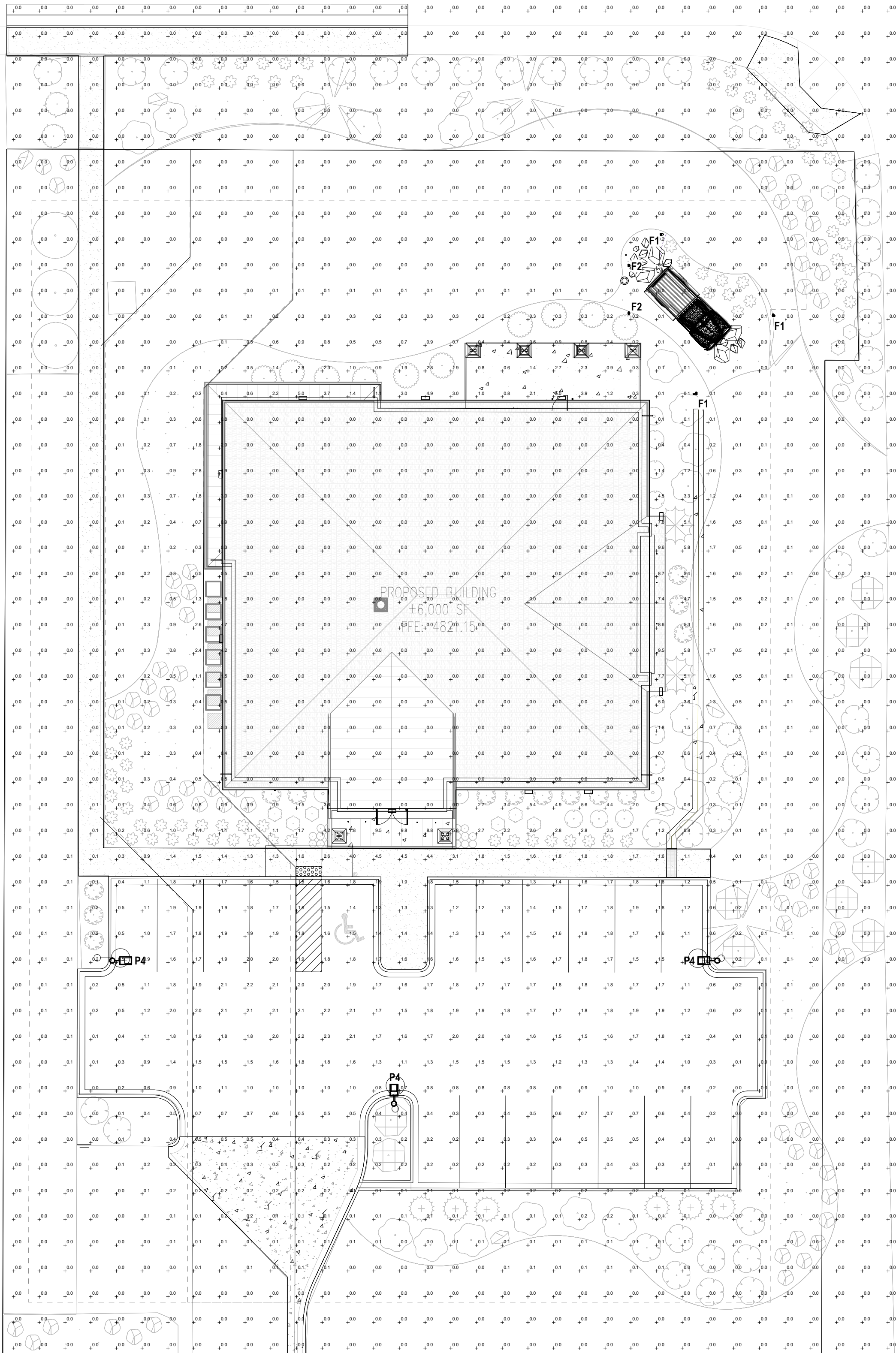
AGFINITY CORPORATE OFFICE
EATON, CO

LANDSCAPE PLAN

PROJ. NO.:
DATE: 11.21.23
SCALE: See Sheet
DRAWN: JRO
CHKD BY: NAM
SHEET 9 of 12

CALCULATION SUMMARY (NONRESIDENTIAL)							
ZONE	AREA DESCRIPTION	SPACING	GROUP	AVERAGE	MAX	MIN	MAX/MIN
1	CALCULATION SURFACE 2	5'		0.40	9.80	0	0

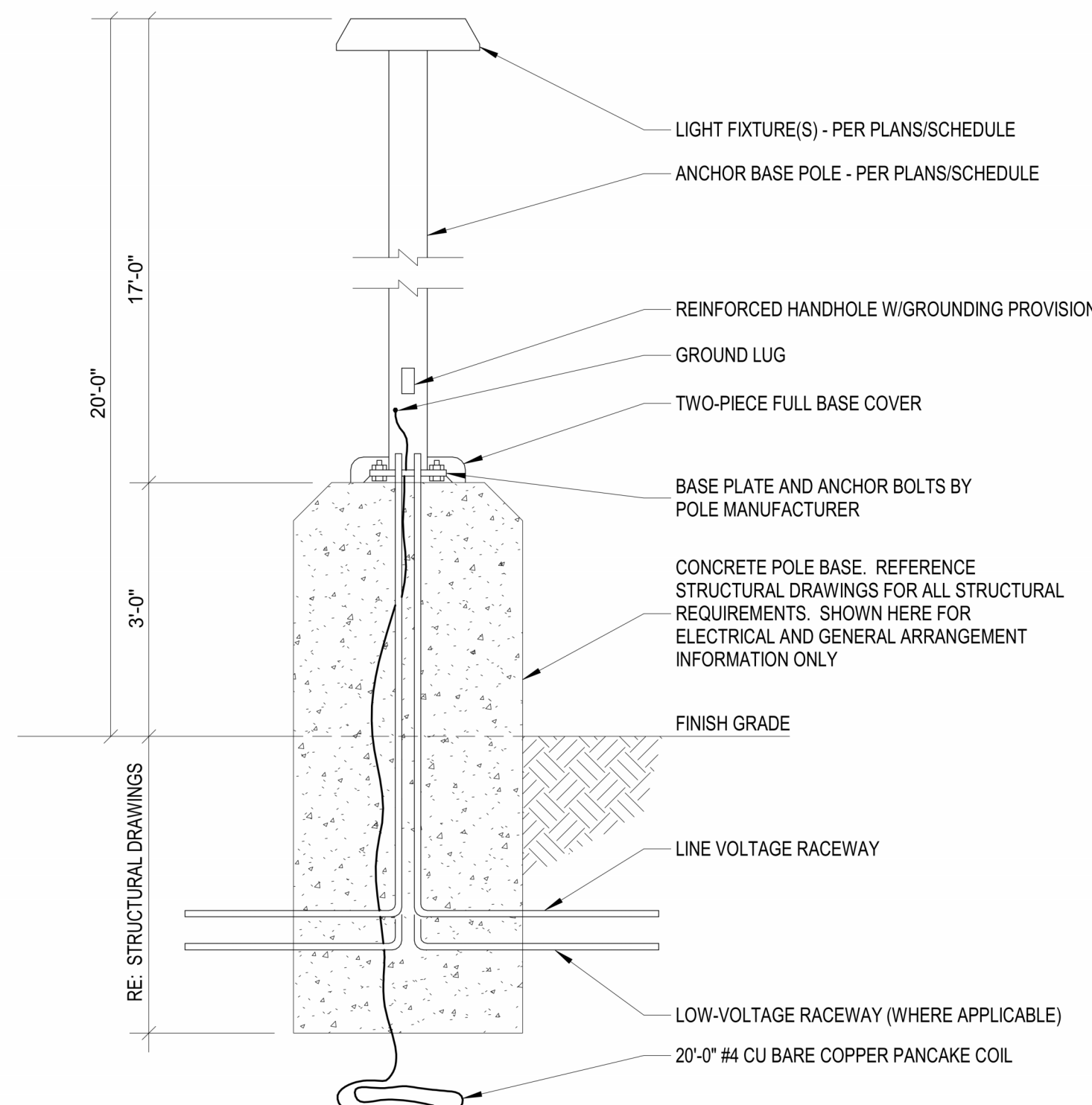
COLLINS STREET



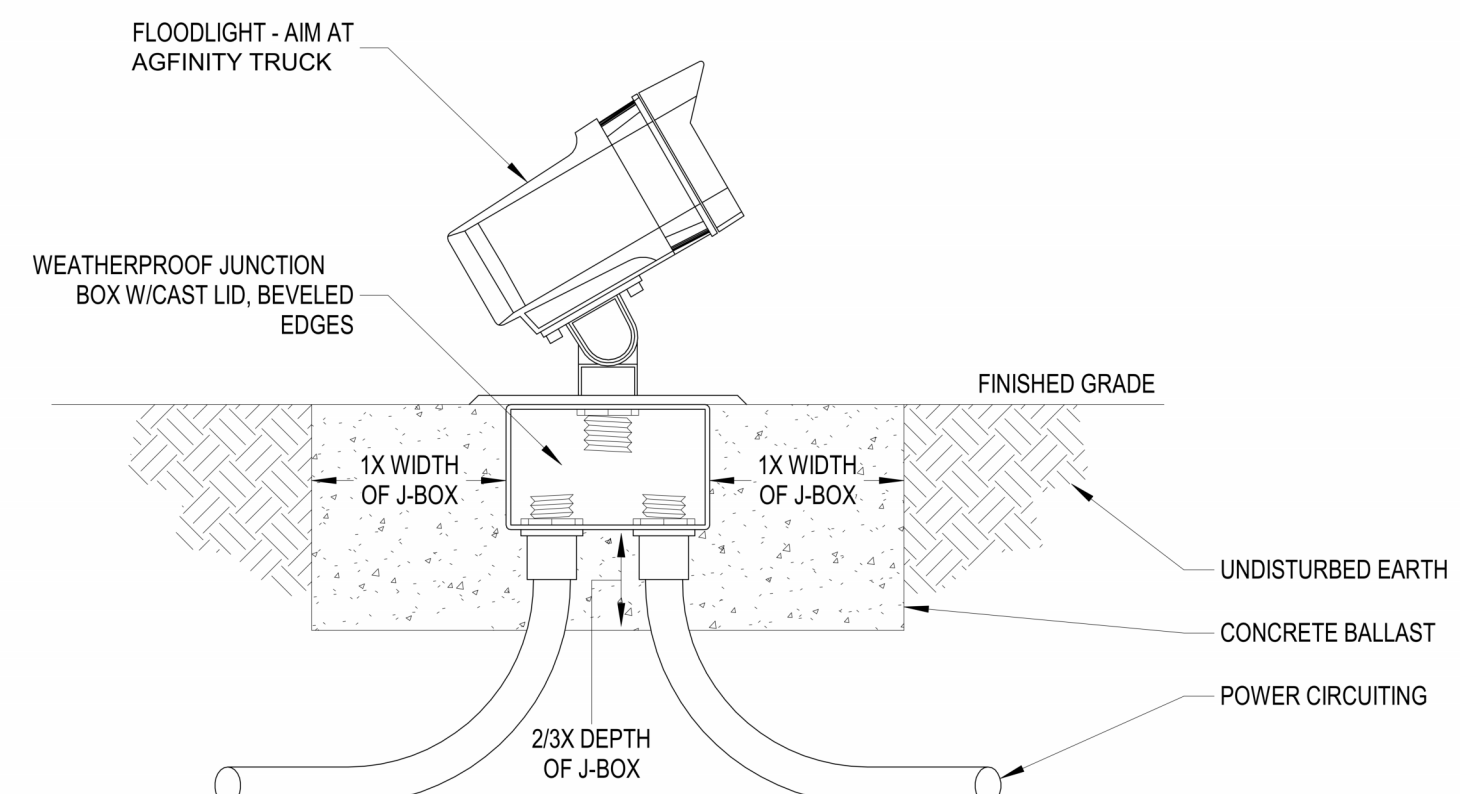
1 SITE PHOTOMETRIC PLAN
1/16" = 1'-0"

US HIGHWAY 85

LUMINAIRE SCHEDULE								
FIXTURE DESIGNATION	DESCRIPTION	MANUFACTURER INFORMATION		MOUNTING	LAMP	WATTAGE	VOLTAGE	NOTES
		NAME	CATALOG NUMBER					
AA	EXTERIOR WALL SCONCE, 3500K, 1669 LUMENS, DARK BRONZE.	SPI LIGHTING	AEW10506 L29W PT32 120-277V 3500K DF_80	SURFACE	LED	29	120	
AAE	EXTERIOR WALL SCONCE, 3500K, 1669 LUMENS, EMERGENCY BATTERY, DARK BRONZE.	SPI LIGHTING	AEW10506 L29W PT32 120-277V 3500K DF_80 EMR-WIL	SURFACE	LED	29	120	
BB	FLUE LED SCONCE, 3000K, 90CRI, 900 LUMENS.	SONNEMAN	7480.72-WL	SURFACE	LED	9	120	
RD3	EXTERIOR RATED RECESSED 4" DIAMETER DOWNLIGHT, LED, 3500K TEMP, 90CRI, 1000 LUMENS.	LITELINE	RA4-12G-30K-C-90	RECESSED	LED	12	120	A
F1	ARCHITECTURAL FLOOD, 70 DEGREE DISTRIBUTION, 3000K, 80CRI, 45 DEGREE ANGLE CUT GAP	HYDREL	SAF1 LED P1 80CRI 30K MVOLT 70DEG CWL KM BL C3	KNUCKLE	LED	8	120	A
F2	ARCHITECTURAL FLOOD, 30 DEGREE DISTRIBUTION, 3000K, 80CRI, SHORT FLUSH CAP.	HYDREL	SAF1 LED P1 80CRI 30K MVOLT 30DEG CWL KM BL C1	KNUCKLE	LED	6	120	A
P4	POLE MOUNTED STREET LAMP, 6000L, TYPE 4, 5967 LUMENS.	LSI	MRS-LED-6L-SIL-4-UNV-DIM-30-70CRI-BLK	POLE MOUNTED	LED	39	120	
P5 POLE	STREET LAMP POLE	LSI	4SQ B3 S11G17 S BLK	POLE	N/A	N/A	N/A	
NOTES	ARCHITECT SHALL MAKE COLOR SELECTIONS.							



2 DIAGRAM - POLE BASE
NOT TO SCALE



3 DIAGRAM - FLOOD LIGHT GRADE MOUNTED
NOT TO SCALE

AGFINITY CORPORATE OFFICE
110 COLLINS ST, EATON, CO 80615
AGFINITY INC.

PERMIT
Issued For SD: _____
Issued For DO: 11/22/2023
Issued For Permit: 01/09/2024
Issued For Construction: _____
Revision Number Description Revision Date
0050028
Seal: 03/20/2024
23020
Plot Date: 3/14/2024 4:38:22 PM

PHOTOMETRIC
PLAN

Oakley Exterior

AEW10506 12.00 in

JOB NAME:
TYPE:
NOTES:

SPILIGHTING
PROJECT DETAILS

DESCRIPTION

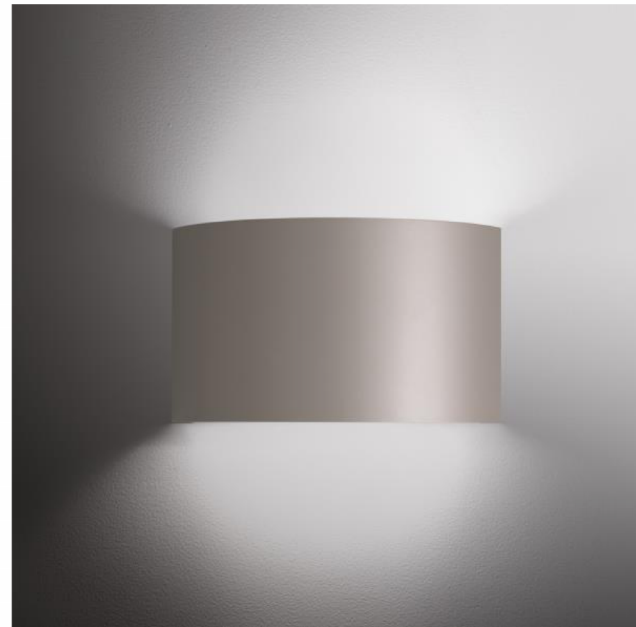
This simple but elegant scone can either be used as a decorative element or be painted to disappear in the space. The fixture is designed to fit any application where elegance is important. Choose from a palette of painted finishes.

FEATURES & BENEFITS

- Premium 95% reflective aluminum is utilized in the highly-efficient and effective reflector design
- External fasteners are not visible, providing a clean fixture design
- Handcrafted in USA

SPECIFICATIONS

- LIGHT SOURCE:** IP66 white LED light engine
- CRI:** 80+ or 90+
- LUMEN MAINTENANCE:** L70 = >50,000 Hrs.
- CCT:** 2700K, 3000K, 3500K, 4000K, 5000K
- DRIVER:** Integral Class 2 power supply standard
- DIMMING:** 0-10V controls standard to 1% on LED light engines
- CONTROLS:** Contact factory for control options (e.g., Lutron Athena, Current NX, nLight, Enlighted, Enceium, Wattstopper, WaveLinx, or Casambi)
- EMERGENCY:** Remote battery option is provided with 10W Constant Power Battery back-up, providing 90 Minutes of Emergency operation. Contact factory for other Emergency options.
- CONSTRUCTION:** Formed metal construction provides durable protection for internal components and is recyclable
- FINISH:** Choose from 26 standard thermoset polyester powder coat paint colors. RAL®, Pantone®, or custom finishes available upon request.
- MOUNTING:** Mounts to standard 4" octagonal junction box
- MODIFICATIONS:** Consult factory for all modification requests
- APPROVALS:** ETL listed to UL standards (US and Canada) for use in wet locations



SPILIGHTING

P:202.242.1420 | SPIteam@spilighting.com | Last Revised: 12/13/2023 | Design Rights Reserved | AEW10506 | 1 of 4

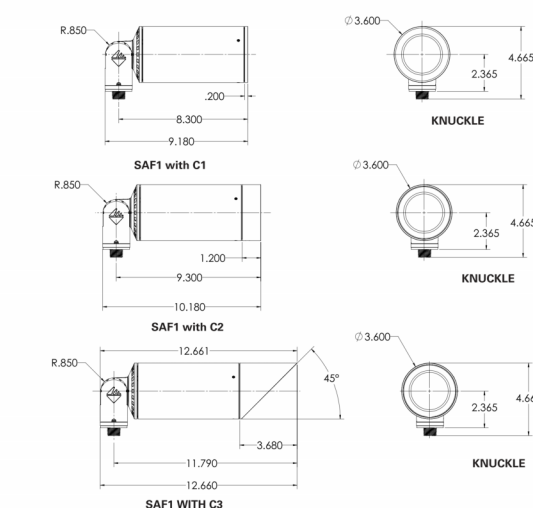
HYDREL

CATALOG NUMBER
NOTES
TYPE



Specifications	4 lbs.
Weight:	
EPA:	C1: 0.266 Square Feet C2: 0.294 Square Feet C3: 0.314 Square Feet

DIMENSIONS



SAF1 LED SPECIALTY ARCHITECTURAL FLOOD MVOLT LED

HIGHLIGHTS

- Suitable for a variety of mounting applications including ground, wall, pole, stanchion and tree
- 0-10V Reverse phase Dimming
- Taper-Lock technology provides full aiming integrity utilizing a rugged knuckle design
- Available in 80CRI
- 1500 lm
- Minimalist design that provides clean and intentional lines and transitions
- Slightly convex watershed lens that evades water build up and staining
- NOM Listed
- 3G vibration rating per ANSI C136.31

LED

5
year
warranty

IP66

BAA

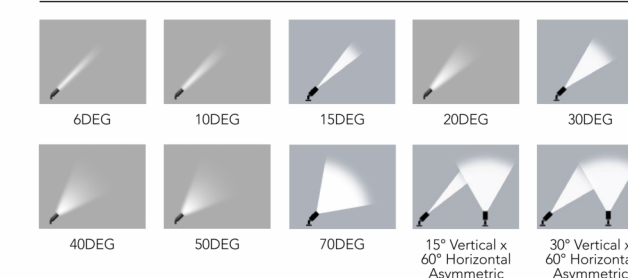
LUMEN PACKAGES

	10DEG	10DEG	10DEG	20DEG	30DEG	40DEG
Estimated Lumens	731	691	1,487	1,479	1,483	1,481
Watts	16	16	21	21	21	21
LPW	46	43	71	70	70	69
Max Candela	48,960	17,042	12,343	10,447	4,191	2,880

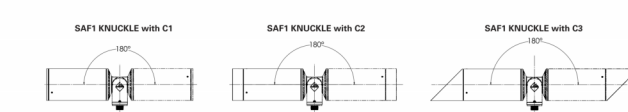
	30DEG	30DEG	15x40H	30x40H
Estimated Lumens	1,386	1,205	1,446	1,379
Watts	21	21	21	21
LPW	66	63	70	66
Max Candela	1,442	964	2,922	1,997

Note: Information based on 4000K @ P2, for 40DEG and 10DEG and P3 for 10DEG+ with C1. See page 3 for more information.

STANDARD DISTRIBUTION



AIMING DETAIL



© 2022-2023 Acuity Brands Lighting, Inc. • One Lethonia Way, Conyers GA 30012
Phone: 800-705-SERV (7378) • www.hydel.com

SAF1 LED | Rev. 12/01/23
Page 1 of 8



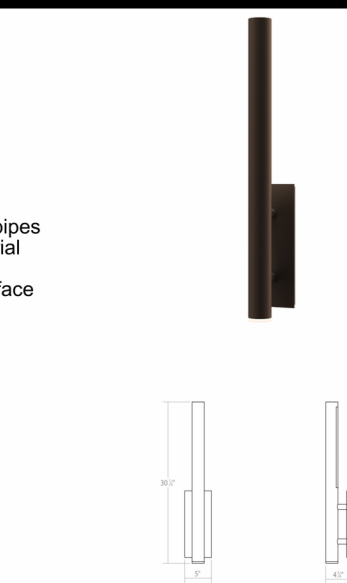
Project:

Flue LED Sconce Spec Sheet

SKU: 7480-72-WL Learn more at:
<https://sonnemanlight.com/flue-led-sconce>

Description: Dramatically powerful in scale and presence, these bold pipes make a strong statement about the materials and details of the industrial aesthetic. Reflecting illumination back to the wall and directing an independent beam downward, the simplicity brings strength to the surface and surroundings.

Type #:



Dimensions

Height:	30"
Width:	5"
Extends:	4.75"
Minimum Extension:	4.75"
Maximum Extension:	4.75"
Size:	30"

Electrical Specs

Bulb(s) Included?:	Yes
Bulb 1 Type:	Integral LED
Bulb Quantity:	1
Input Voltage:	120VAC
Wattage:	9
Initial Lumens:	900
Delivered Lumens:	800
Color Temperature:	3000K
CRI:	90
Power Supply Type:	Driver
Power Supply Quantity:	1
Power Supply Location:	Outlet Box
Dimming Type:	TRIACELV

Available Color Temperatures

Available Color Temperatures: 3000k

Installation

Installation:	Licensed electrician required
Installation Orientation:	Vertical

Shipping

Carton 1 L x W x H:	35" X 10" X 9"
Carton 1 Gross Weight:	14 LBS

Shade

Shade Material:	Aluminum
-----------------	----------

Available Finishes

Available Finishes: Textured Black (.97),
Textured Bronze (.72), Textured Gray (.74),
Textured White (.98)

General Listings

Features:	Wet Rated
Certification:	C-ETL-US
Color/Finish:	Textured Bronze (.72)
Dark Sky Friendly:	N

FLC

Job Name : Agfinity HQ
Manufacturer : LSI
Model Number : MRS LED 6L SIL 5W UNV DIM 30 70CRI BLK

Type :
P5



Mirada Small Area (MRS) Outdoor LED Area Light

IP66 IK08

OVERVIEW	
Lumen Package	6,000 - 30,000
Wattage Range	39 - 209
Efficacy Range (LPW)	112 - 163
Weight lbs(kg)	20 (9.1)
Control Options	IMSBT, ALB, ALS, 7-Pin, PCI

QUICK LINKS

Ordering Guide Performance Photometrics Dimensions

FEATURES & SPECIFICATIONS

Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 27 lbs in carton.

Optical System

- State-of-the-art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated seal.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in distribution types 2, 3, 4, 5W, FT, and LC/RC.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93-95%.
- Zero uplight.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377.
- Minimum CRI of 70.
- Integral louver (LI) and integral half louver (HL) options available for enhanced backlight control.

Electrical

- High-performance driver features over-voltage, under-voltage, short-circuit and over temperature protection.
- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 VAC) Input 50/60 Hz or optional High Voltage (347-480 VAC).
- L70 Calculated Life: >60k Hours
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F). 30L lumen packages rated to +40°C.
- Power factor: >90
- Input power stays constant over life.
- Field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-efficiency LEDs mounted to metal-core circuit board to maximize heat dissipation
- Driver is fully encased in potting material for moisture resistance and complies with FCC standards. Driver and key electronic components can easily be accessed.

Controls

- Optional integral passive infrared Bluetooth™ motion and photocell sensor. Fixtures operate independently and can be commissioned via iOS or Android configuration app.
- LSI's AirLink™ wireless control system options reduce energy and maintenance costs while optimizing light quality 24/7.

Installation

- Designed to mount to square or round poles.
- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment.
- Included terminal block accepts up to 12 ga. wire.
- Utilizes LSI's traditional B3 drill pattern.

Warranty

- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsicorp.com/resources/terms-conditions-warranty/> for more information.

Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- IDA compliant, with 3000K color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- Suitable for wet locations.
- IP66 rated Luminaire per IEC 60598-1.
- 3G rated for ANSI C136.31 high vibration applications are qualified.
- IK08 rated luminaire per IEC 66262 mechanical impact code
- DesignLights Consortium™ (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/DLC to confirm which versions are qualified.

LSI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • (513) 372-3200 • www.lsicorp.com
©2023 LSI Industries Inc. All Rights Reserved. Specifications and dimensions subject to industry standard tolerances. Specifications subject to change without notice.

Page: 1/30 Rev.: 10/09/23
SPEC 1046-B-1122

Prepared By: Fisher Lighting and Controls

Paul Schaller | paul@gfls.com

December 13, 2023

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infusion

ARCHITECTS

4487 Highland Meadows Pkwy, Windsor, CO 80550

G2

CONSULTING
ENGINEERS,
INC.

5000 GOODMAN ST.
UNIT 100
TIMNATH, CO 80547
(970) 460-7400
GZCE.COM
Project # 2023124

AGFINITY CORPORATE OFFICE

110 COLLINS ST, EATON, CO 80615

AGFINITY INC.

PERMIT

Issued For SD:		
Issued For DD: 11/22/2023		
Issued For Permit: 01/09/2024		
Issued For Construction:		
Revision Number	Description	Revision Date



Seal: 03/20/2024

23020

Plot Date: 3/14/2024 4:38:23 PM

PHOTOMETRIC
PLAN

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